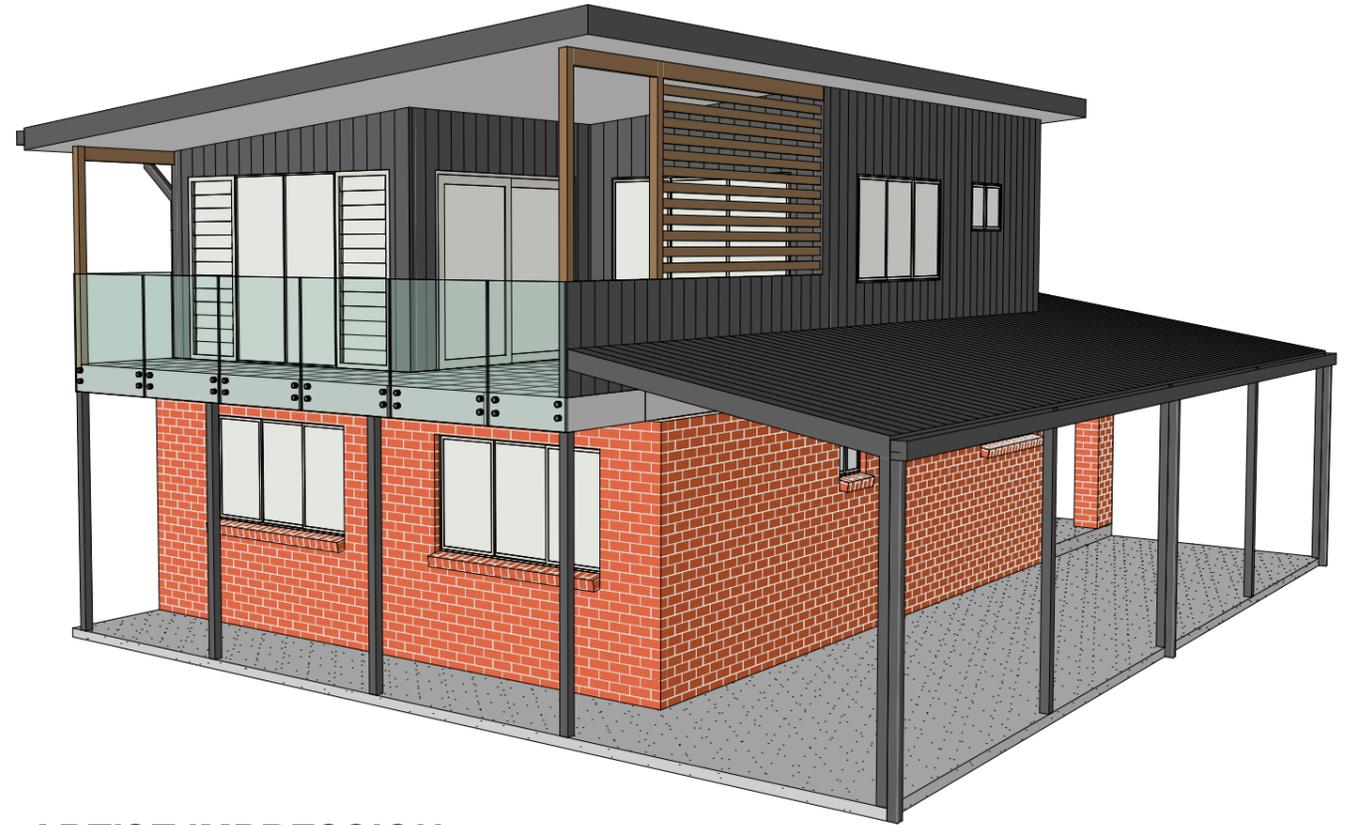




**ARTIST IMPRESSION**  
NOT TO SCALE



**ARTIST IMPRESSION**  
NOT TO SCALE

# DA MODIFICATION

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

**DEVELOPMENT NOTES**

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY. ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

**NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY**

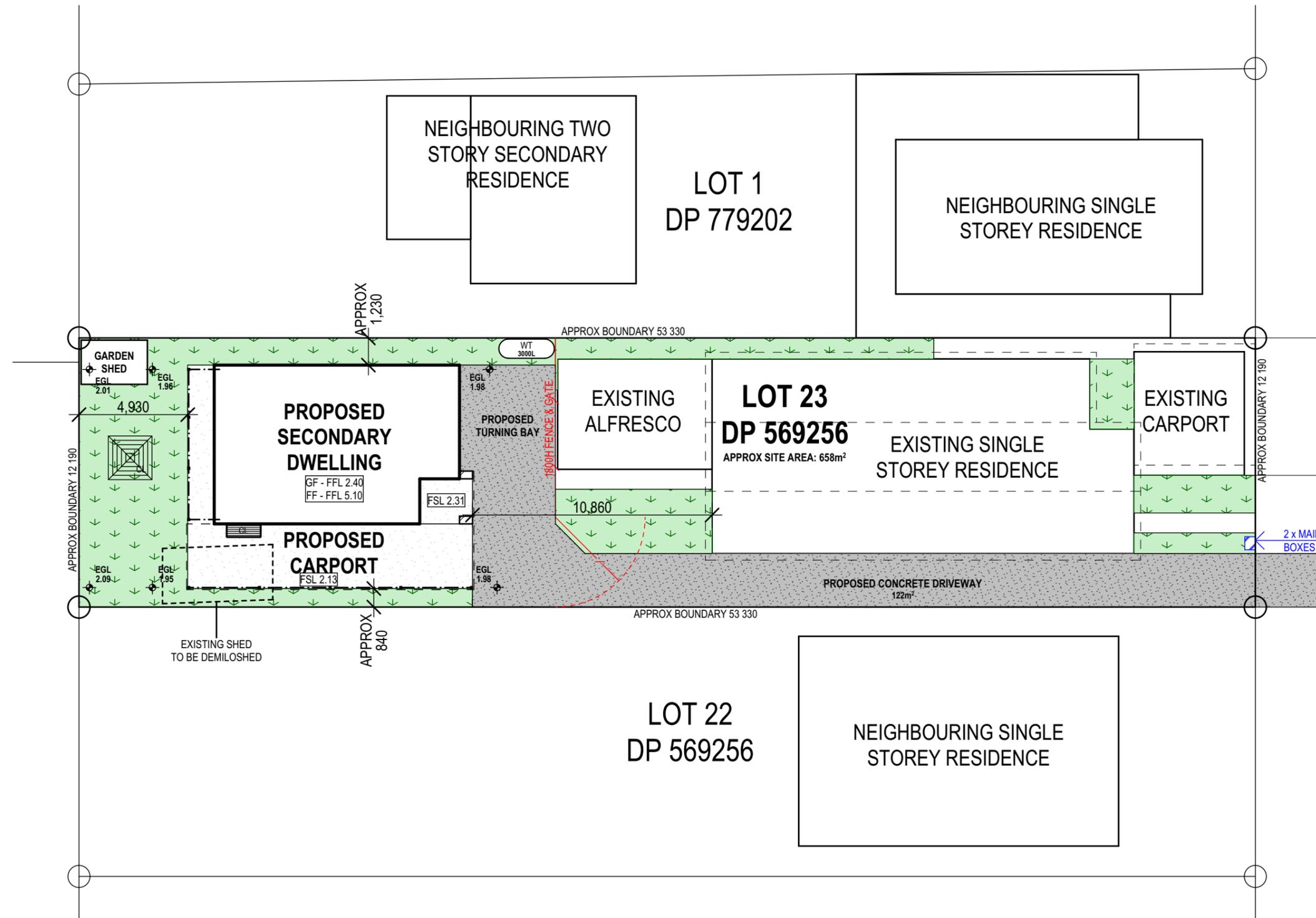


Client  
**J. NEIL**  
Project Name  
**PROPOSED SECONDARY DWELLING**  
**40 COUPLAND AVE**  
**TEA GARDENS**  
**NSW 2324**

Drawing Title: <b>COVER SHEET</b>	
Status: DA MODIFICATION	Scale: AS SHOWN
Project No: <b>24135</b>	Sheet No.: <b>WD1</b>
Plot Date:	6/01/2025

**SITE PLAN**  
SCALE 1:200@A3

DA MODIFICATION



COUPLAND AVE

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

**DEVELOPMENT NOTES**

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

**LEGEND**

WT	ABOVE GROUND WATER TANK	CL	CLOTHES LINE
TP	200x200 TIMBER POST	HWU	HOT WATER UNIT
BP	350x350 BRICK PIER	MSB	MAIN SWITCH BOARD
SC	90x90 STEEL COLOUMN	FFL	FINISHED FLOOR LEVEL
DP	DOWNPIPE	FSL	FINISHED SLAB LEVEL
RC	REINFORCED CONCRETE	EGL	EXISTING GROUND LEVEL
WM	WATER METER	FGL	FINISHED GROUND LEVEL

**SITE LAND ZONING R2**

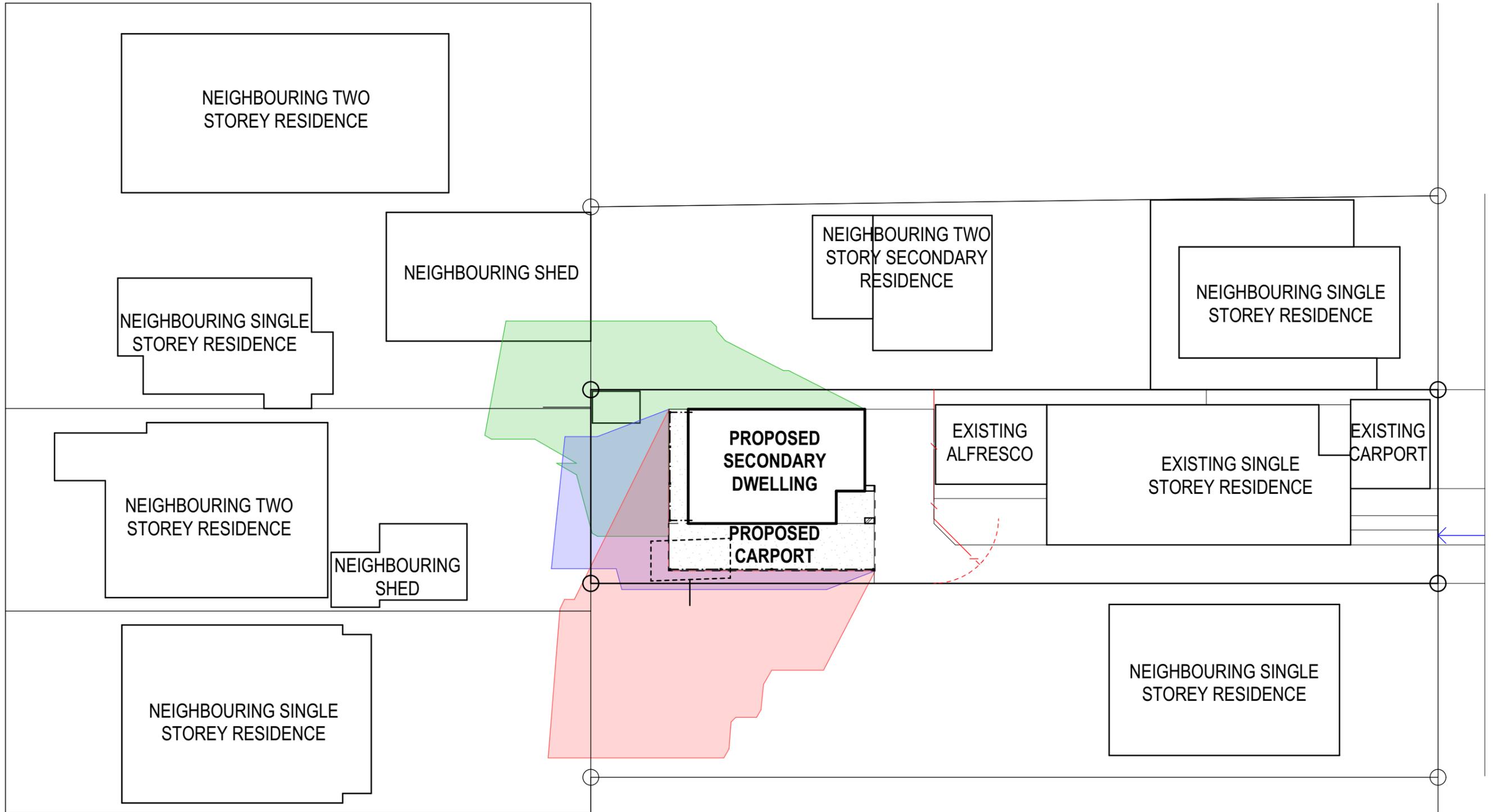
**SITE AREAS & COVERAGE**

ROOF SURFACE AREA	143.5m²
LANDSCAPE AREA	142.6m²
ON-SITE DRIVEWAY AREA	122m²
OFF-SITE DRIVEWAY AREA	13.5m²
TOTAL HARDSTAND AREA	508m²
SITE COVERAGE %	77%



Client  
**J. NEIL**  
Project Name  
**PROPOSED SECONDARY DWELLING**  
40 COUPLAND AVE  
TEA GARDENS  
NSW 2324

Drawing Title: <b>SITE PLAN</b>	
Status: DA MODIFICATION	Scale: AS SHOWN
Project No: <b>24135</b>	Sheet No.: <b>WD2</b>
Plot Date: 6/01/2025	



# DA MODIFICATION

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

## DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

## SITE LEGEND

- SHADOW CAST - 9AM, JUN 22
- SHADOW CAST - 12PM, JUN 22
- SHADOW CAST - 3PM, JUNE 22



Client  
**J. NEIL**  
Project Name  
**PROPOSED SECONDARY DWELLING**  
40 COUPLAND AVE  
TEA GARDENS  
NSW 2324

Drawing Title: <b>SHADOW DIAGRAMS</b>	
Status: DA MODIFICATION	Scale: AS SHOWN
Project No: <b>24135</b>	Sheet No.: <b>WD3</b>
Plot Date: 6/01/2025	

**NOTE:**  
 PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH NCC H4D7. MIN FLOW RATE 25L/S. ENSURE DUCTED TO OUTDOOR AIR AD BE INTERLOCKED WITH THE ROOMS LIGHT SWITCH AND INCLUDE A RUN-ON TIMER SO THAT THE SYSTEM CONTINUES TO OPERATE FOR 10MINS AFTER SWITCH OFF. ENSURE ADEQUATE MAKE-UP AIR OF 14,000mm<sup>2</sup> VIA OPENINGS TO ADJACENT ROOM IS PROVIDED.

**NOTE:**  
 FLOOR AND SHOWER WASTE FALLS MUST COMPLY WITH AS 3740 - 2021 AND BCA H4D3 / H4D2 - THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50.

**NOTE:**  
 WATERPROOF FLOORING - COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 TO BE USED IN WET AREAS

**NOTE:**  
 BUILDER PROVIDE WATERPROOFING AND A WATER STOP ANGLE ALONG THE DOOR WAY AND A FLOOR WASTE TO THE PROPOSED LAUNDRY CUPBOARD TO MEET AS3740

**NOTE:**  
 PROTECTION OF OPENABLE WINDOWS MUST COMPLY WITH PART 11.3.7 OF THE ABCB HOUSING PROVISIONS FOR BEDROOMS AND PART 11.3.8 FOR ROOMS OTHER THAN BEDROOMS

**NOTE:**  
 ALL STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH THE PART 11.2.2 OF THE ABCB HOUSING PROVISIONS AND HAVE A MINIMUM OR MAXIMUM GOING OF 240-355mm AND RISE OF 115-190mm

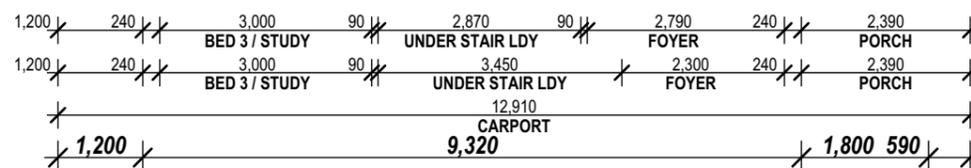
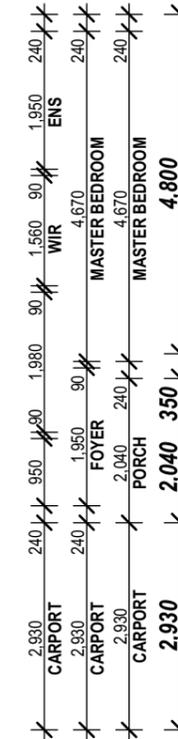
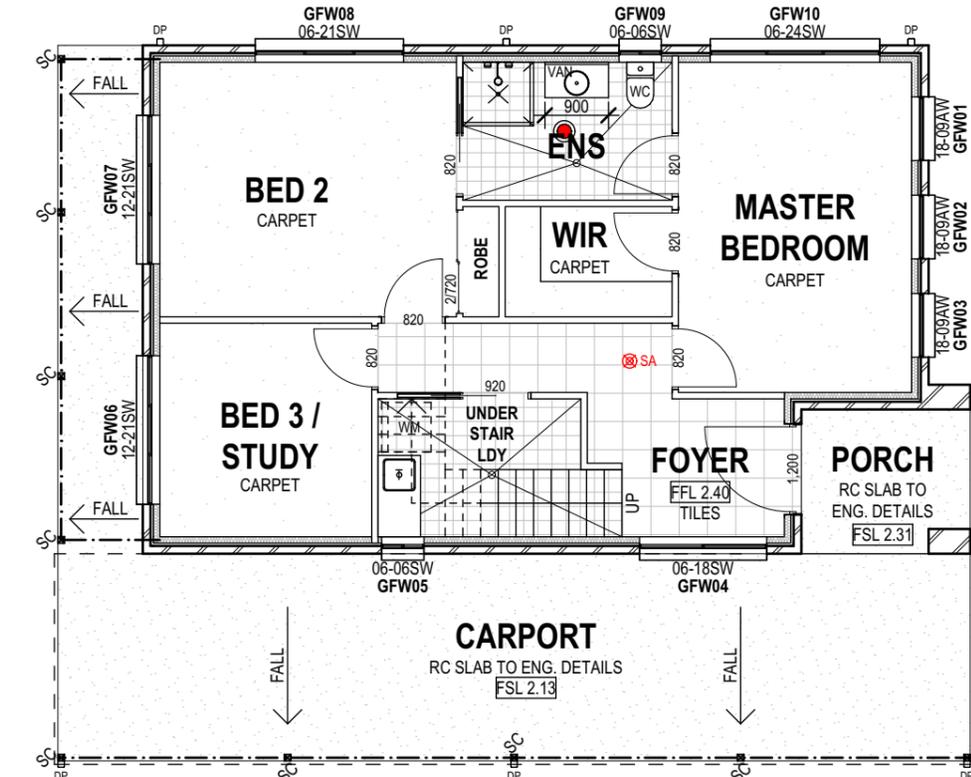
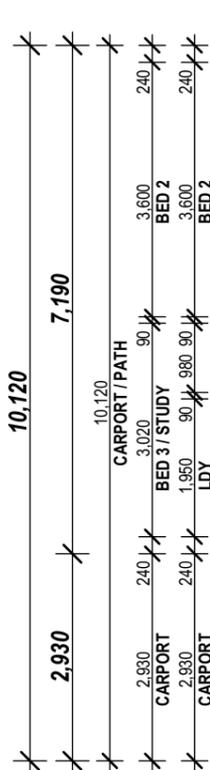
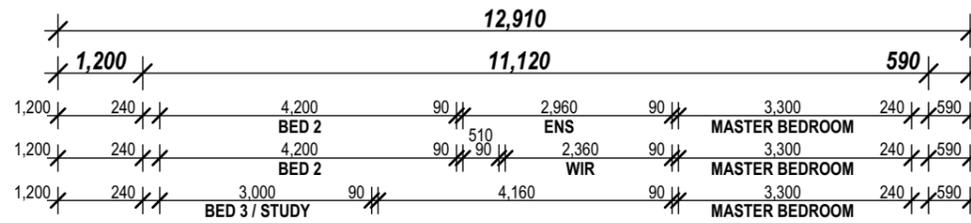
**NOTE:**  
 ALL STAIRS NOSING WILL HAVE A SLIP RESISTANCE RATING OF P4 OR P11 IN ACCORDANCE WITH CLAUSE 11.2.4 OF THE ABCB HOUSING PROVISIONS & AS4586

**NOTE:**  
 ALL BALUSTRADES TO COMPLY WITH PART 11.3.4 OF THE ABCB HOUSING PROVISIONS BALUSTRADE FOR VERANDAH TO BE A MINIMUM OF 1m & 865mm FOR STAIRS

**NOTE:**  
 ALL HANDRAILS TO COMPLY WITH PART 11.3.5 OF THE ABCB HOUSING PROVISIONS HANDRAIL FOR VERANDAH TO BE A MINIMUM OF 1M & 865mm FOR STAIRS.

**BUILDER TO PROVIDE WATERPROOFING TO VERANDAH IN ACCORDANCE WITH NCC 2022 AND AS 4654.1&2**

**NOTE:**  
 ALL LIGHTWEIGHT WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS AND TO COMPLY WITH RELEVANT STANDARDS



## GROUND FLOOR PLAN

SCALE 1:100@A3

### BASIX COMMITMENTS

#### PLUMBING FIXTURES

SHOWER HEAD	4 STAR
TOILET FLUSHING SYSTEM	4 STAR
KITCHEN TAPS	4 STAR
BATHROOM TAPS	4 STAR

#### RAINWATER

3,000 LITRE TANK TO BE PROVIDED COLLECTING EITHER THE ENTIRE ROOF AREA OR A MINIMUM OF 143.5m<sup>2</sup> OF RAINWATER RUNOFF. THE RAINWATER TANK SHALL BE CONNECTED TO AT LEAST 1 OUTDOOR TAP.

#### THERMAL COMFORT

FLOOR - SUSPENDED FLOOR ABOVE HABITABLE ROOMS, PARTICLE BOARD, FRAME LAMINATED VENEER LUMBER (LVL), - TO HAVE ADDITIONAL INSULATION OF NIL

FLOOR - CONCRETE SLAB ON GROUND, CONVENTIONAL SLAB - TO HAVE ADDITIONAL INSULATION OF NIL.

EXTERNAL WALLS - BRICK VENEER/FRAMED, UNTREATED SOFTWOOD. - TO HAVE ADDITIONAL INSULATION OF R1.64 RATING OR HIGHER.

- FIRBREGGLASS BATTS OR ROLL  
 - REFLECTIVE FOIL IN THE CAVITY  
 - WALL COLOUR MEDIUM (SOLAR ABSORPTANCE 0.48-0.7)

EXTERNAL WALLS - FRAMED-METAL CLAD UNTREATED SOFTWOOD. - TO HAVE ADDITIONAL INSULATION OF R1.70 RATING OR HIGHER.

- FIRBREGGLASS BATTS OR ROLL  
 - REFLECTIVE FOIL IN THE CAVITY  
 - WALL COLOUR DARK (SOLAR ABSORPTANCE 0.71-0.85)

EXTERNAL WALLS - FRAMED-SOLID/RECONSTITUTED TIMBER CLAD, UNTREATED SOFTWOOD. - TO HAVE ADDITIONAL INSULATION OF R1.70 RATING OR HIGHER.

- FIRBREGGLASS BATTS OR ROLL  
 - REFLECTIVE FOIL IN THE CAVITY  
 - WALL COLOUR MEDIUM (SOLAR ABSORPTANCE 0.48-0.7)

CEILING - FLAT CEILING, FLAT ROOF, FRAMED - METAL ROOF, LAMINATED VENEER LUMBER (LVL).

- TO HAVE ADDITIONAL INSULATION OF R3 RATING OR HIGHER.  
 - FOIL/SARKING IN ROOF  
 - FIRBREGGLASS BATTS OR ROLL  
 - UNVENTILATED ROOF SPACE  
 - ROOF COLOUR DARK (SOLAR ABSORPTANCE 0.71-0.79)  
 - 2.5 TO 3.0% OF CEILING AREA UNINSULATED

#### CEILING FANS

THE APPLICANT MUST INSTALL AT LEAST ONE FAN IN AT LEAST ONE DAYTIME HABITABLE SPACE (LIVING ROOM) AND ONE IN EACH BEDROOM

#### HOT WATER SYSTEM

6 STAR GAS INSTANTANEOUS HOT WATER SYSTEM OR HIGHER

#### HEATING AND COOLING

A SINGLE PHASE REVERSE CYCLE WALL AIR CONDITIONER WITH A STAR RATING OF 3.5 FOR COOLING IS TO BE INSTALLED IN AT LEAST 1 LIVING AND A 3.5 STAR RATING FOR HEATING IS TO BE INSTALLED IN AT LEAST 1 LIVING

#### VENTILATION

BATHROOM - INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, MANUAL ON/OFF  
 KITCHEN - INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, MANUAL ON/OFF  
 LAUNDRY - NATURAL VENTILATION ONLY

#### ARTIFICIAL LIGHTING

THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF THE LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

#### NATURAL LIGHTING

A WINDOW MUST BE INSTALLED IN 2 BATHROOMS/TOILETS  
 A WINDOW MUST BE INSTALLED IN THE KITCHEN

#### OTHER

AN ELECTRIC OVEN & ELECTRIC COOKTOP MUST BE INSTALLED IN THE KITCHEN OF THE DWELLING.  
 A FIXED OUTDOOR CLOTHES LINE MUST BE INSTALLED.

# DA MODIFICATION

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

### DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.  
 ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

### LEGEND

WT	ABOVE GROUND WATER TANK	SNK	SINK	EGL	EXISTING GROUND LEVEL
TP	90x90 TIMBER POST	WC	WATER CLOSET	FGL	FINISHED GROUND LEVEL
BP	590x350 BRICK PIER	SHR	SHOWER		NICHE
SC	90x90 STEEL COLUMN	RC	REINFORCED CONCRETE		SOLAR TUBE
EF	EXHAUST FAN	WM	WATER METER		SMOKE ALARM
DP	DOWN PIPE	CL	CLOTHES LINE		EXHAUST FAN
ST	STOVE	FW	FLOOR WASTE		
		HWU	HOT WATER UNIT		
		MSB	MAIN SWITCH BOARD		
		FFL	FINISHED FLOOR LEVEL		
		FSL	FINISHED SLAB LEVEL		

WT	ABOVE GROUND WATER TANK	SNK	SINK	EGL	EXISTING GROUND LEVEL
TP	90x90 TIMBER POST	WC	WATER CLOSET	FGL	FINISHED GROUND LEVEL
BP	590x350 BRICK PIER	SHR	SHOWER		NICHE
SC	90x90 STEEL COLUMN	RC	REINFORCED CONCRETE		SOLAR TUBE
EF	EXHAUST FAN	WM	WATER METER		SMOKE ALARM
DP	DOWN PIPE	CL	CLOTHES LINE		EXHAUST FAN
ST	STOVE	FW	FLOOR WASTE		
		HWU	HOT WATER UNIT		
		MSB	MAIN SWITCH BOARD		
		FFL	FINISHED FLOOR LEVEL		
		FSL	FINISHED SLAB LEVEL		

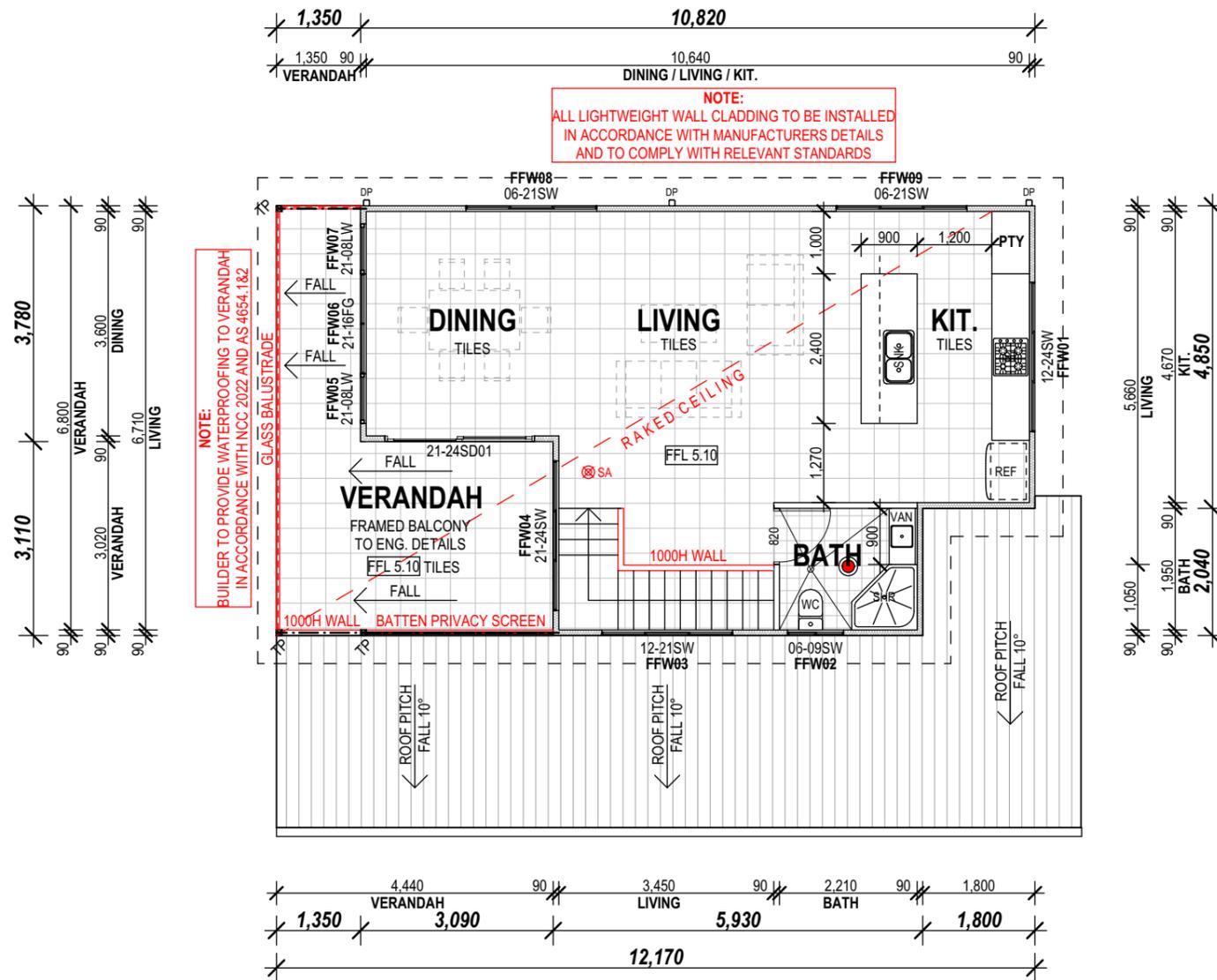
FLOOR AREAS	
GF MAIN LIVING AREA	76.3m <sup>2</sup>
FF MAIN LIVING AREA	61.3m <sup>2</sup>
PORCH AREA	5.1m <sup>2</sup>
CARPOR AREA	37.9m <sup>2</sup>
VERANDAH AREA	19m <sup>2</sup>
PATH AREA	8.7m <sup>2</sup>
<b>TOTAL</b>	<b>208.3m<sup>2</sup></b>



Client  
**J. NEIL**  
 Project Name  
**PROPOSED SECONDARY DWELLING**  
**40 COUPLAND AVE**  
**TEA GARDENS**  
**NSW 2324**

Drawing Title: <b>GROUND FLOOR PLAN</b>	Status: DA MODIFICATION	Scale: AS SHOWN
Project No: <b>24135</b>	Sheet No.: <b>WD4</b>	Plot Date: 6/01/2025

# BASIX COMMITMENTS



WINDOWS & GLAZED DOORS					
WINDOW/DOOR NO.	MAX HEIGHT (mm)	MAX WIDTH (mm)	TYPE OF WINDOW	SHADING (DIMENSION WITHIN 10%)	OVERSHADOWING
<b>NORTH FACING</b>					
GFW01	1800	900	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 300mm, 3110mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW02	1800	900	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 300mm, 3230mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW03	1800	900	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 300mm, 3350mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW01	1200	2400	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 450mm, 510mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
<b>EAST FACING</b>					
GFW04	600	1800	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 3070mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW05	600	600	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 3070mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW02	600	900	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 450mm, 940mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW03	1200	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 450mm, 940mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
SD01	2100	2400	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 3070mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
<b>SOUTH FACING</b>					
GFW06	1200	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	SOLID OVERHANG 1200mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW07	1200	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	SOLID OVERHANG 1200mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW04	2100	2400	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 4740mm, 760mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW05	2100	800	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 1650mm, 570mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW06	2100	1600	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 1650mm, 470mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW07	2100	800	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 1650mm, 360mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
<b>WEST FACING</b>					
GFW08	600	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 440mm, 2960mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW09	600	600	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 440mm, 2960mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW10	600	2400	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 440mm, 2960mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW08	600	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 600mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW09	600	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 600mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED

## FIRST FLOOR PLAN

SCALE 1:100@A3

**NOTE:**  
PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH NCC H4D7. MIN FLOW RATE 25L/S. ENSURE DUCTED TO OUTDOOR AIR AND BE INTERLOCKED WITH THE ROOMS LIGHT SWITCH AND INCLUDE A RUN-ON TIMER SO THAT THE SYSTEM CONTINUES TO OPERATE FOR 10MINS AFTER SWITCH OFF. ENSURE ADEQUATE MAKE-UP AIR OF 14,000mm<sup>2</sup> VIA OPENINGS TO ADJACENT ROOM IS PROVIDED.

**NOTE:**  
FLOOR AND SHOWER WASTE FALLS MUST COMPLY WITH AS 3740 - 2021 AND BCA H4D3 / H4D2 - THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50.

**NOTE:**  
WATERPROOF FLOORING - COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 TO BE USED IN WET AREAS

**NOTE:**  
BUILDER PROVIDE WATERPROOFING AND A WATER STOP ANGLE ALONG THE DOOR WAY AND A FLOOR WASTE TO THE PROPOSED LAUNDRY CUPBOARD TO MEET AS3740

**NOTE:**  
PROTECTION OF OPENABLE WINDOWS MUST COMPLY WITH PART 11.3.7 OF THE ABCB HOUSING PROVISIONS FOR BEDROOMS AND PART 11.3.8 FOR ROOMS OTHER THAN BEDROOMS

**NOTE:**  
ALL STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH THE PART 11.2.2 OF THE ABCB HOUSING PROVISIONS AND HAVE A MINIMUM OR MAXIMUM GOING OF 240-355mm AND RISE OF 115-190mm

**NOTE:**  
ALL STAIRS NOSING WILL HAVE A SLIP RESISTANCE RATING OF P4 OR P11 IN ACCORDANCE WITH CLAUSE 11.2.4 OF THE ABCB HOUSING PROVISIONS & AS4588

**NOTE:**  
BUILDER TO PROVIDE WATERPROOFING TO VERANDAH IN ACCORDANCE WITH NCC 2022 AND AS 4654.1&2

**NOTE:**  
ALL BALUSTRADES TO COMPLY WITH PART 11.3.4 OF THE ABCB HOUSING PROVISIONS BALUSTRADE FOR VERANDAH TO BE A MINIMUM OF 1m & 865mm FOR STAIRS

**NOTE:**  
ALL HANDRAILS TO COMPLY WITH PART 11.3.5 OF THE ABCB HOUSING PROVISIONS HANDRAIL FOR VERANDAH TO BE A MINIMUM OF 1M & 865mm FOR STAIRS.

**NOTE:**  
ALL LIGHTWEIGHT WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS AND TO COMPLY WITH RELEVANT STANDARDS

# DA MODIFICATION

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

### DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.  
ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.  
ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.  
PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.  
BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

### LEGEND

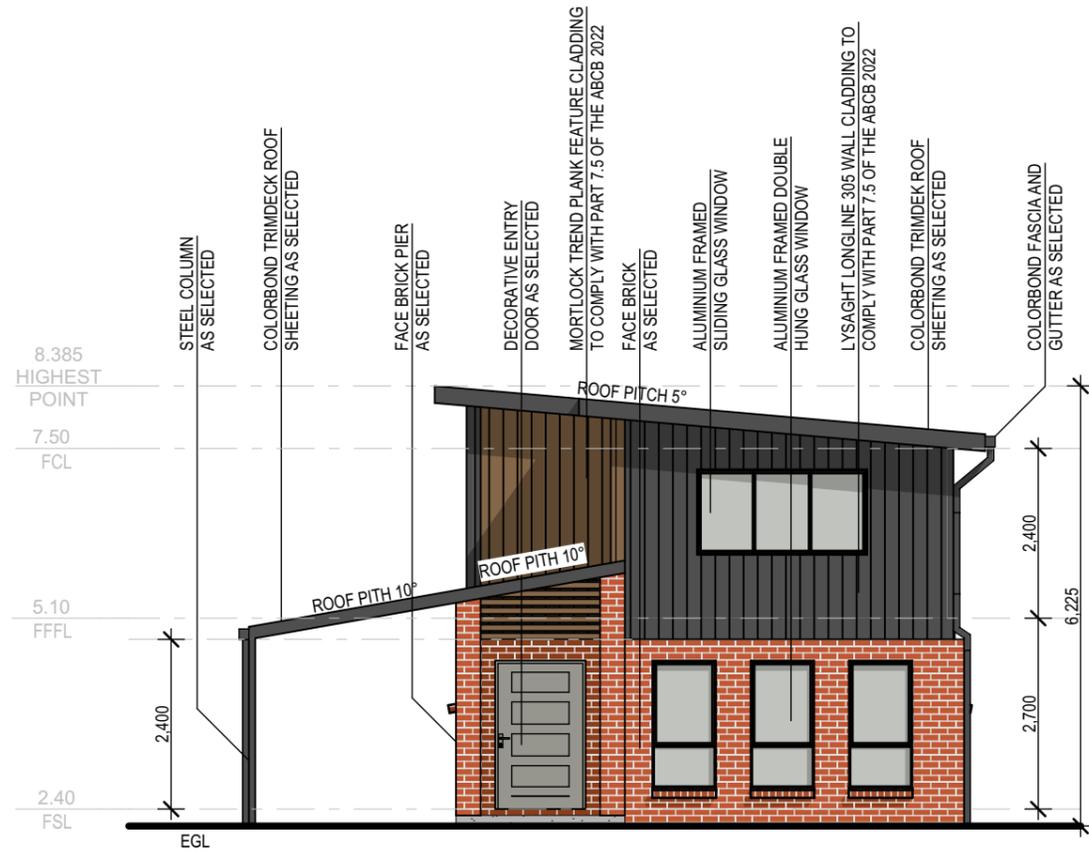
WT	ABOVE GROUND WATER TANK	SNK	SINK	EGL	EXISTING GROUND LEVEL
TP	90x90 TIMBER POST	WC	WATER CLOSET	FGL	FINISHED GROUND LEVEL
BP	350x350 BRICK PIER	SHR	SHOWER	FT	FINISHED FLOOR LEVEL
SC	90x90 STEEL COLUMN	RC	REINFORCED CONCRETE	SA	SMOKE ALARM
EF	EXHAUST FAN	CL	CLOTHES LINE	SA	SMOKE ALARM
DP	DOWN PIPE	FW	FLOOR WASTE	SA	SMOKE ALARM
ST	STOVE	HWU	HOT WATER UNIT	SA	SMOKE ALARM
		MSB	MAIN SWITCH BOARD	SA	SMOKE ALARM
		FFL	FINISHED FLOOR LEVEL	SA	SMOKE ALARM
		FSL	FINISHED SLAB LEVEL	SA	SMOKE ALARM

FLOOR AREAS	
GF MAIN LIVING AREA	76.3m <sup>2</sup>
FF MAIN LIVING AREA	61.3m <sup>2</sup>
PORCH AREA	5.1m <sup>2</sup>
CARPORIT AREA	37.9m <sup>2</sup>
VERANDAH AREA	19m <sup>2</sup>
PATH AREA	8.7m <sup>2</sup>
<b>TOTAL</b>	<b>208.3m<sup>2</sup></b>



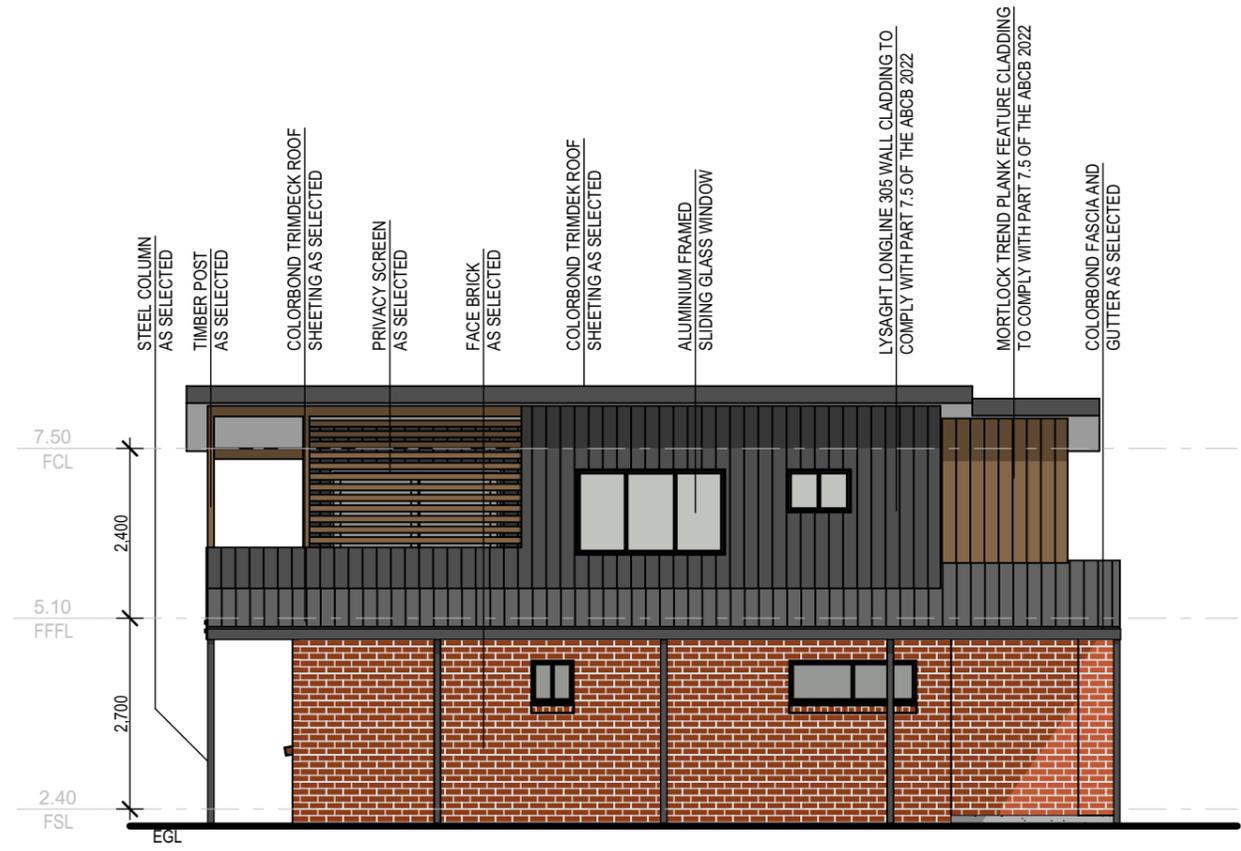
Client  
**J. NEIL**  
Project Name  
**PROPOSED SECONDARY DWELLING**  
**40 COUPLAND AVE**  
**TEA GARDENS**  
**NSW 2324**

Drawing Title:	
<b>FIRST FLOOR PLAN</b>	
Status: DA MODIFICATION	Scale: AS SHOWN
Project No: <b>24135</b>	Sheet No.: <b>WD5</b>
Plot Date:	6/01/2025



### NORTHERN ELEVATION

SCALE 1:100@A3



### EASTERN ELEVATION

SCALE 1:100@A3

DA MODIFICATION

**NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY**

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

#### DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

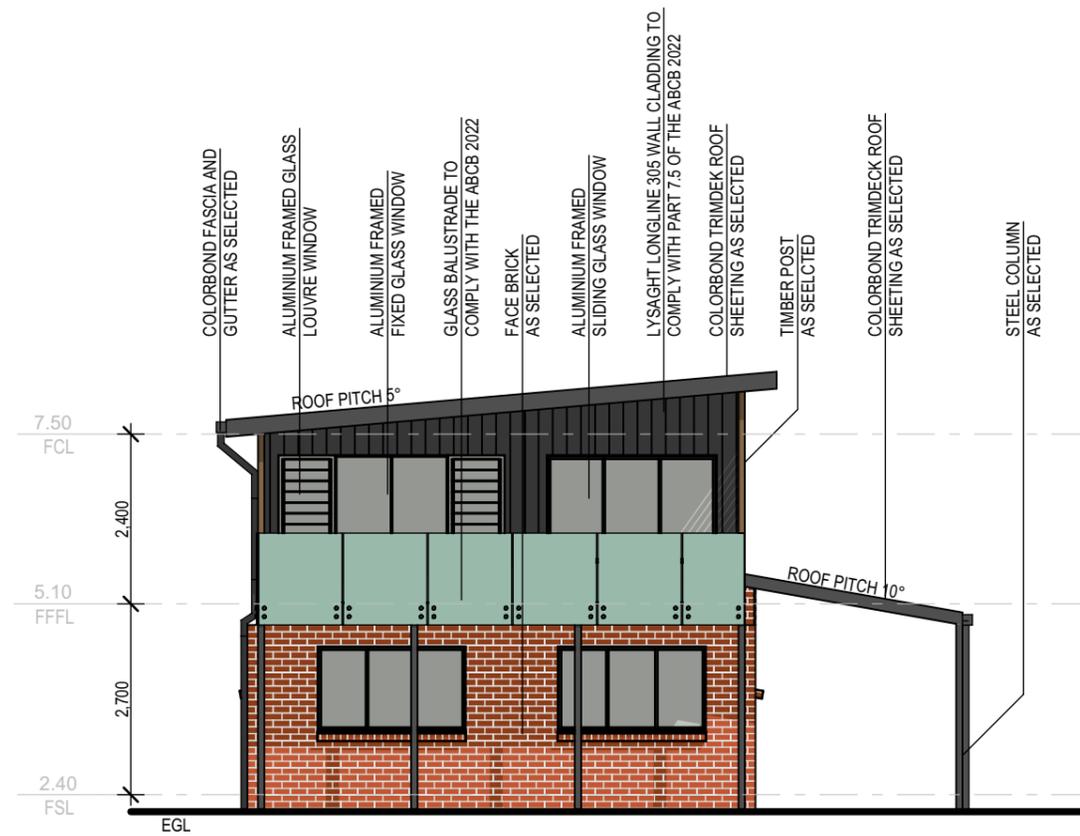
WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY. ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

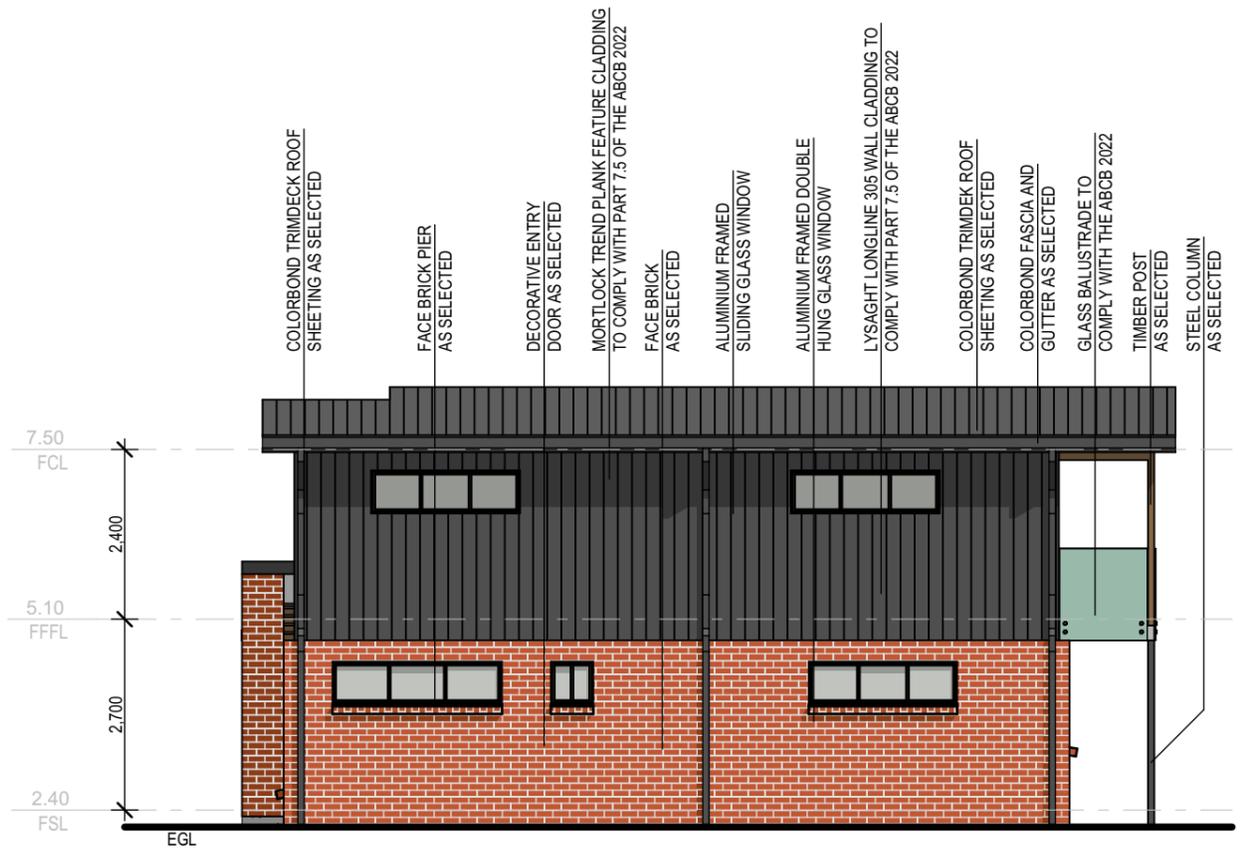


Client  
**J. NEIL**  
Project Name  
**PROPOSED SECONDARY DWELLING**  
**40 COUPLAND AVE**  
**TEA GARDENS**  
**NSW 2324**

Drawing Title: <b>ELEVATIONS</b>	
Status: DA MODIFICATION	Scale: AS SHOWN
Project No: <b>24135</b>	Sheet No.: <b>WD6</b>
Plot Date: 6/01/2025	



**SOUTHERN ELEVATION**  
SCALE 1:100@A3



**WESTERN ELEVATION**  
SCALE 1:100@A3

DA MODIFICATION

**NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY**

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

**DEVELOPMENT NOTES**

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.  
ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.  
ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.  
PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.  
BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

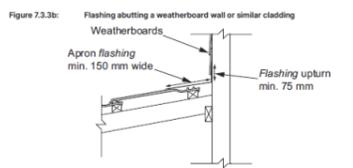
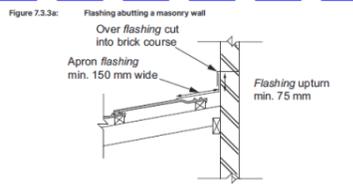
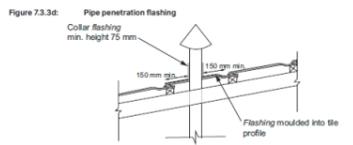
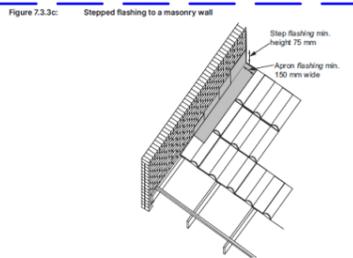
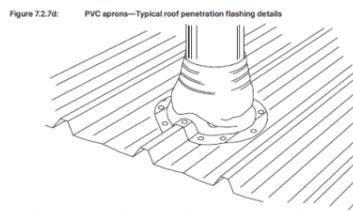
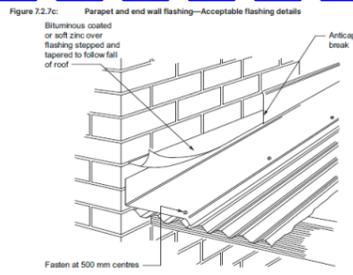
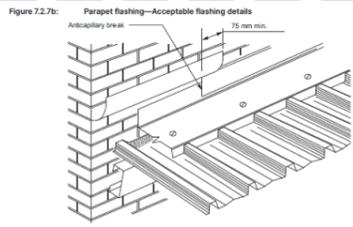
LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.  
ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.  
ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.  
WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".  
DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.  
ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.



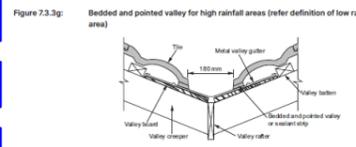
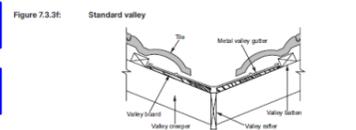
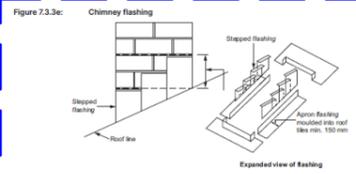
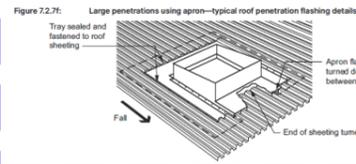
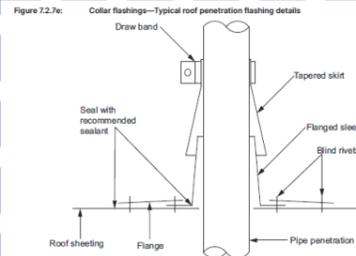
Client  
**J. NEIL**  
Project Name  
**PROPOSED SECONDARY DWELLING**  
**40 COUPLAND AVE**  
**TEA GARDENS**  
**NSW 2324**

Drawing Title: <b>ELEVATIONS</b>	
Status: DA MODIFICATION	Scale: AS SHOWN
Project No: <b>24135</b>	Sheet No.: <b>WD7</b>
Plot Date: 6/01/2025	

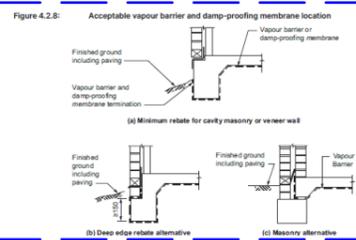
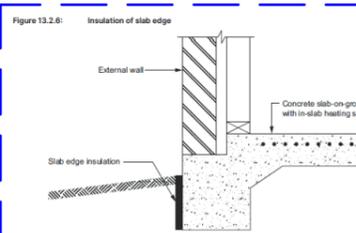
## FLASHING DETAILS



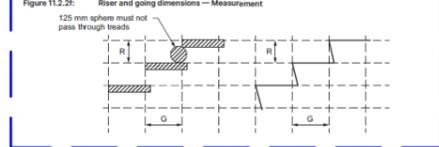
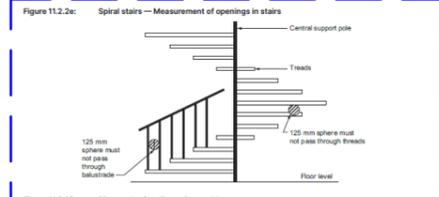
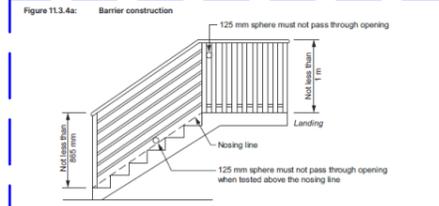
## FLASHING DETAILS



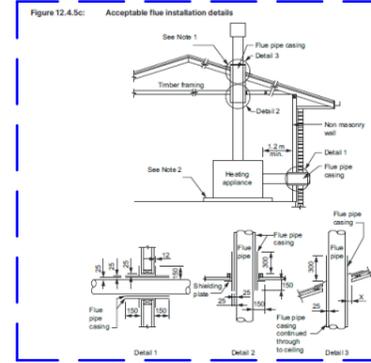
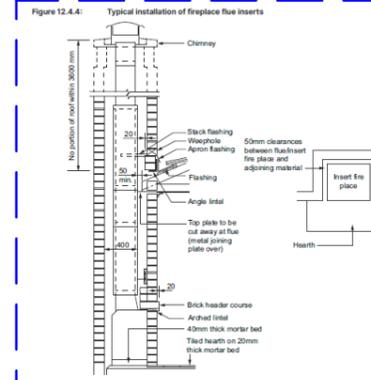
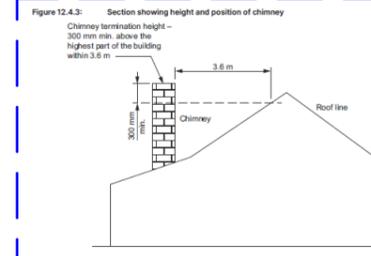
## SLAB INSULATION DETAILS



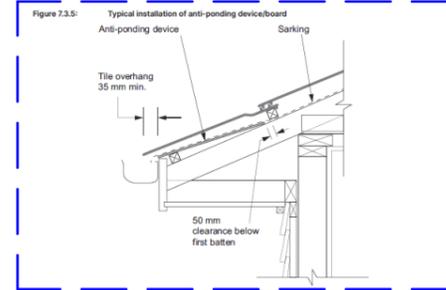
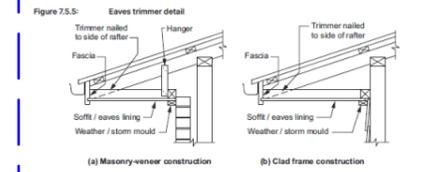
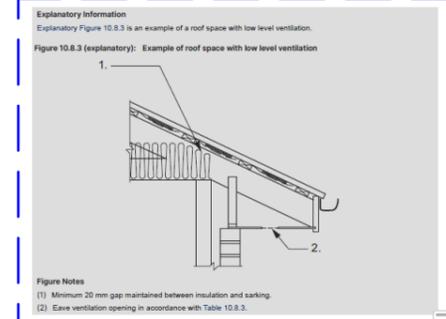
## STAIR/BALUSTRADE DETAILS



## CHIMNEY DETAILS



## EAVE DETAIL



REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

### DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.

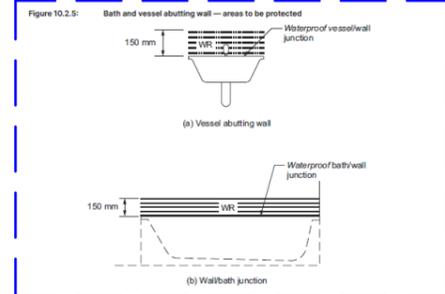
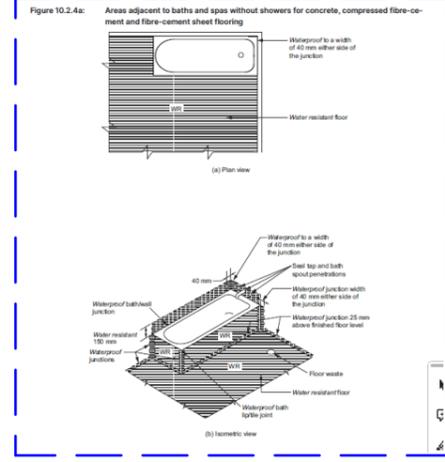
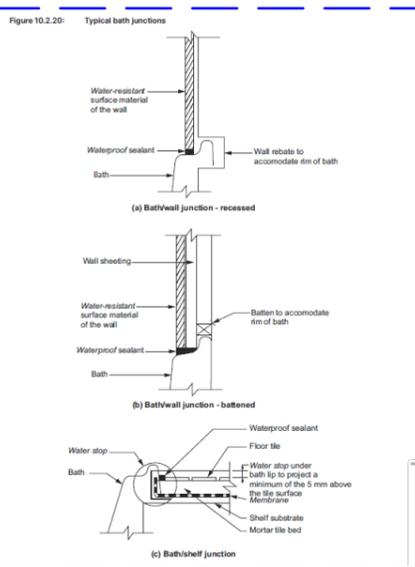
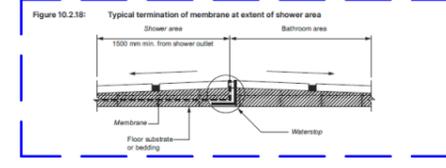
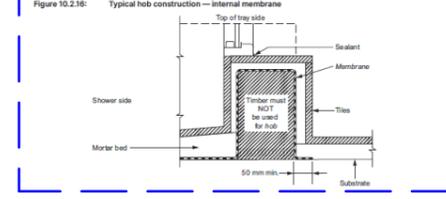
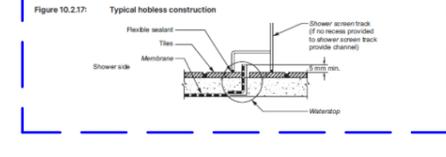
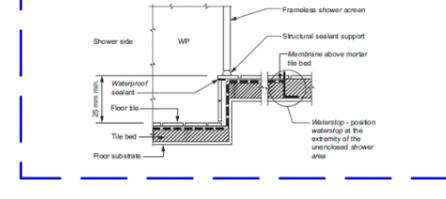
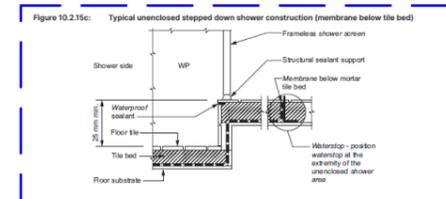
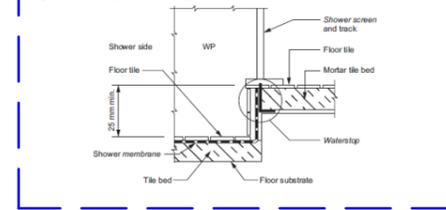
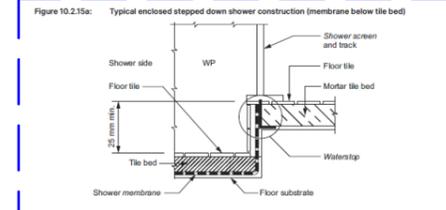
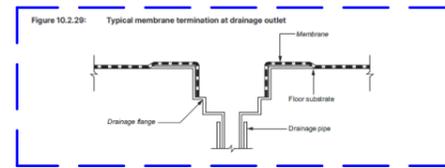
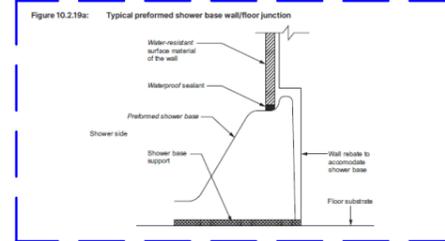
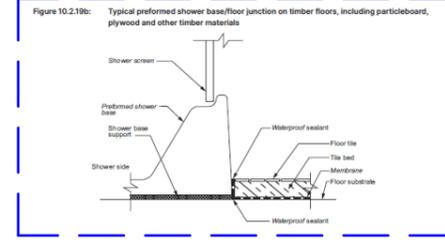
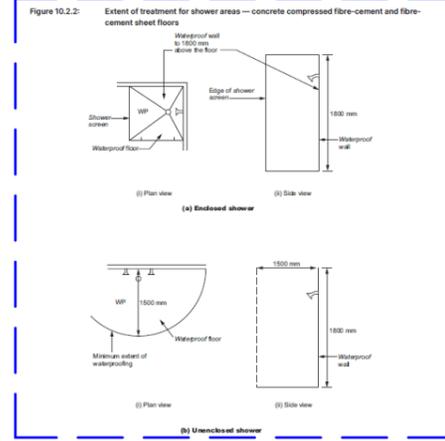
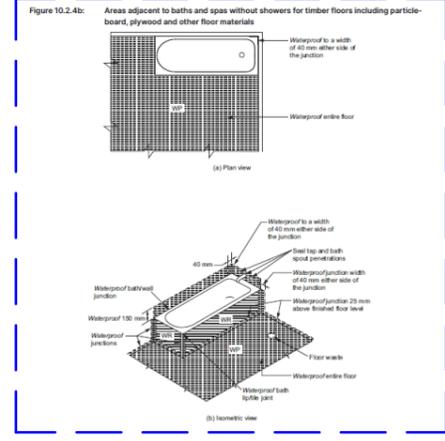
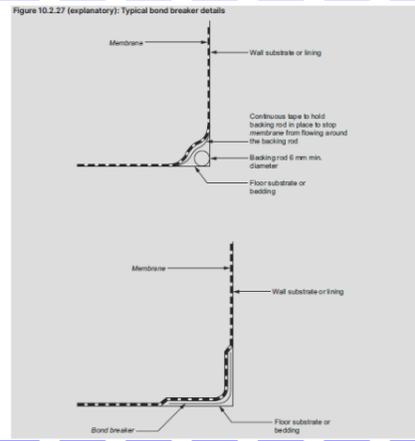
ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.



Client  
**J. NEIL**  
Project Name  
**PROPOSED SECONDARY DWELLING**  
40 COUPLAND AVE  
TEA GARDENS  
NSW 2324

Drawing Title:  
**ABCB RELEVANT CONSTRUCTION DETAILS**  
Status: DA MODIFICATION Scale: AS SHOWN  
Project No:  
**24135**  
Sheet No.:  
**WD8**  
Plot Date: 6/01/2025

# WATERPROOFING DETAILS



# DA MODIFICATION

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

## DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.



Client  
**J. NEIL**  
Project Name  
**PROPOSED SECONDARY DWELLING**  
**40 COUPLAND AVE**  
**TEA GARDENS**  
**NSW 2324**

Drawing Title:  
**ABCB RELEVANT CONSTRUCTION DETAILS**

Status: DA MODIFICATION Scale: AS SHOWN

Project No:  
**24135**

Sheet No.:  
**WD9**

Plot Date: 6/01/2025