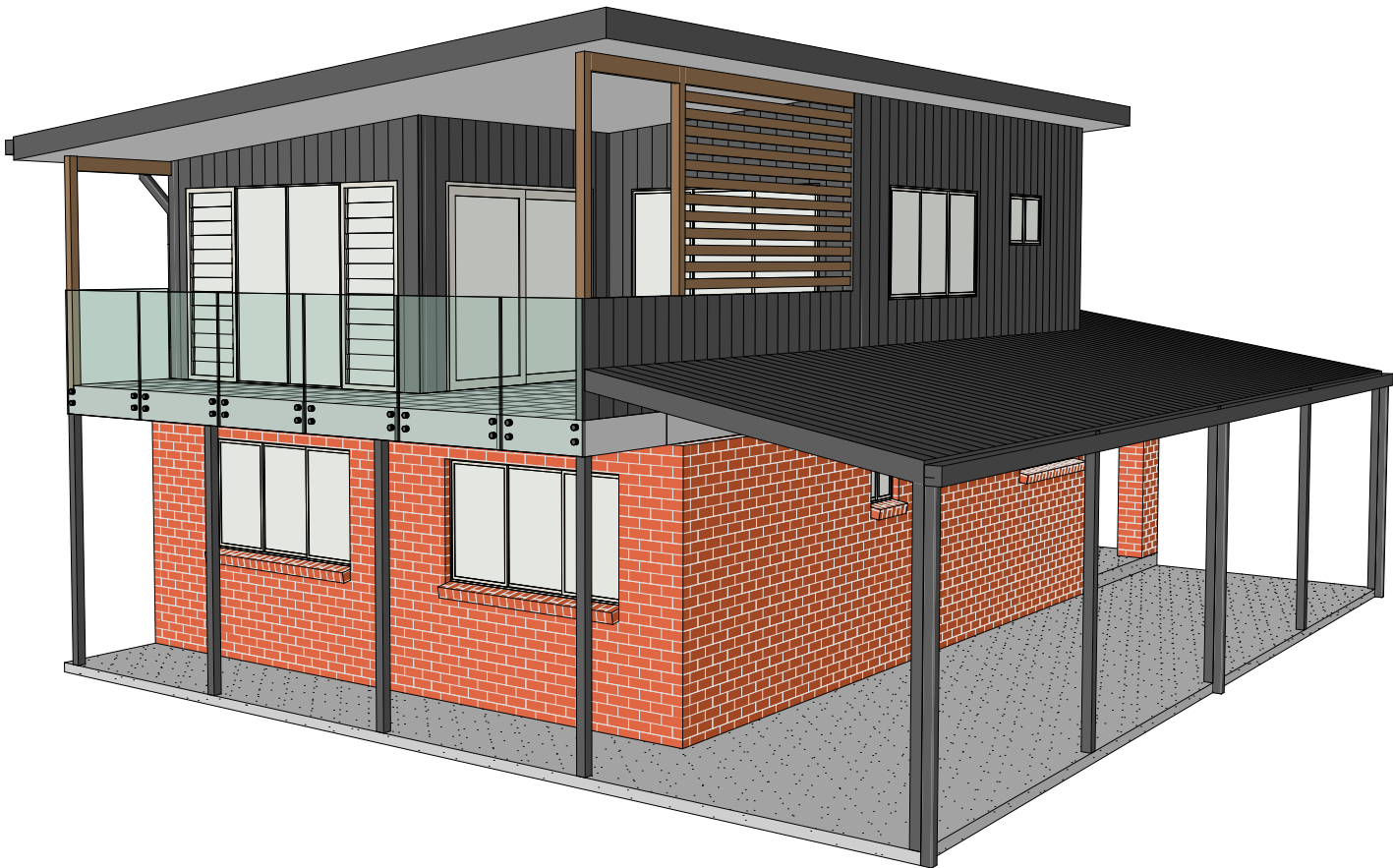




ARTIST IMPRESSION
NOT TO SCALE



ARTIST IMPRESSION
NOT TO SCALE

DA MODIFICATION

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
02	09/12/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	CD
03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

DEVELOPMENT NOTES

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NOTE: COLOURS ARE
INDICATIVE ONLY AND
ARE FOR REFERENCE ONLY

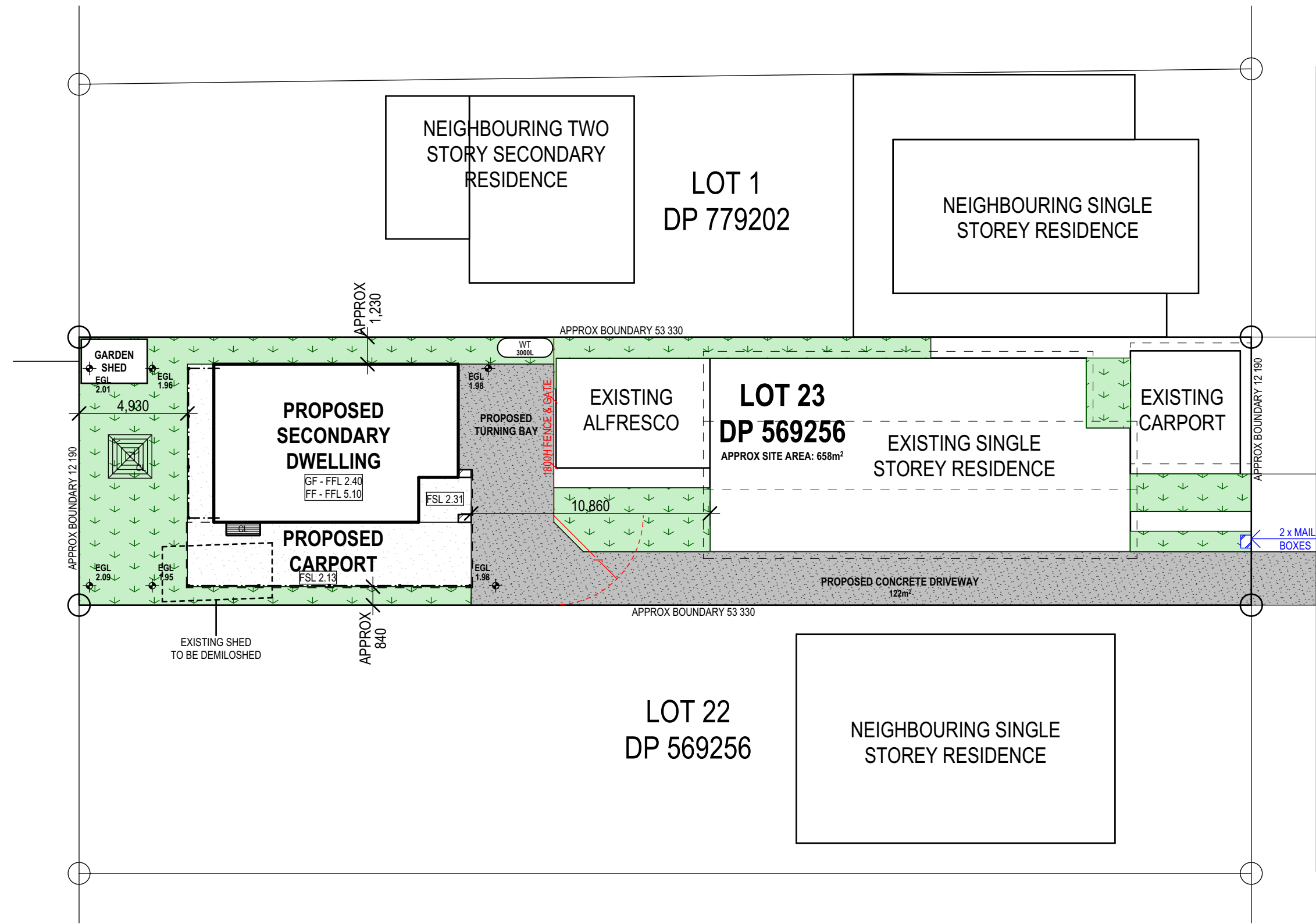


Client
J. NEIL
Project Name
PROPOSED SECONDARY DWELLING
40 COUPLAND AVE
TEA GARDENS
NSW 2324

Drawing Title: COVER SHEET	
Status: DA MODIFICATION	Scale: AS SHOWN
Project No: 24135	Sheet No.: WD1
Plot Date:	6/01/2025

SITE PLAN
SCALE 1:200@A3

DA MODIFICATION



COUPLAND AVE

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
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LEGEND

WT
TP
BP
SC
DP
RC
WM

ABOVE
GROUND WATER TANK
200x200 TIMBER POST
350x350 BRICK PIER
90x90 STEEL COLOUMN
DOWNPIPE
REINFORCED CONCRETE
WATER METER

CL
HWU
MSB
FFL
FSL
EGL
FGL

CLOTHES LINE
HOT WATER UNIT
MAIN SWITCH BOARD
FINISHED FLOOR LEVEL
FINISHED SLAB LEVEL
EXISTING GROUND LEVEL
FINISHED GROUND LEVEL

SITE LAND ZONING R2

SITE AREAS & COVERAGE

ROOF SURFACE AREA	143.5m ²
LANDSCAPE AREA	142.6m ²
ON-SITE DRIVEWAY AREA	122m ²
OFF-SITE DRIVEWAY AREA	13.5m ²
TOTAL HARDSTAND AREA	508m ²
SITE COVERAGE %	77%



Client
J. NEIL
Project Name
PROPOSED SECONDARY DWELLING
40 COUPLAND AVE
TEA GARDENS
NSW 2324

Drawing Title:
SITE PLAN

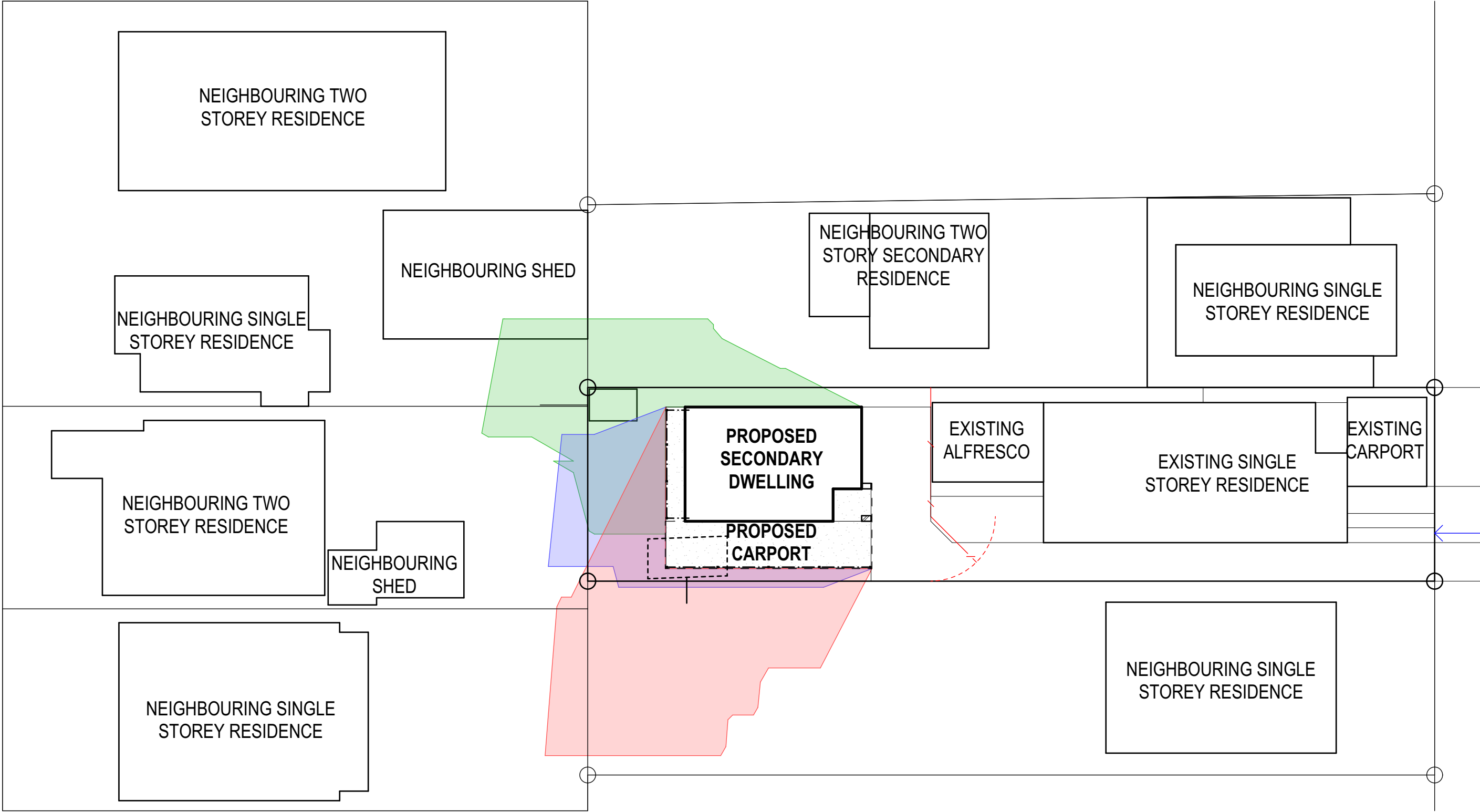
Status: DA MODIFICATION

Scale: AS SHOWN

Project No:
24135

Sheet No.:
WD2

Plot Date: 6/01/2025



DA MODIFICATION

REV	DATE	AMENDMENT	DT	CB
01	28/11/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DP	SB
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03	18/12/24	ISSUED FOR DA MODIFICATION	DP	CD
04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP

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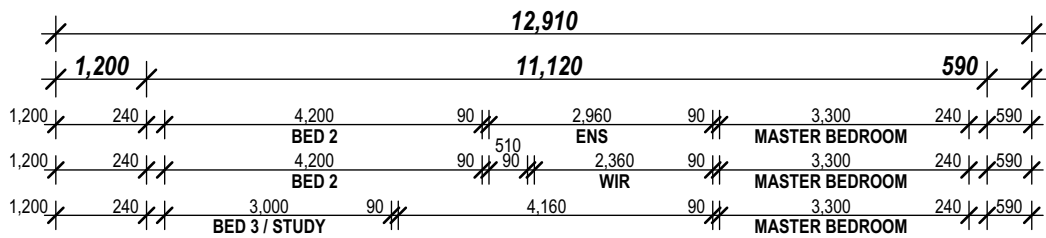
SITE LEGEND

- SHADOW CAST - 9AM, JUN 22
- SHADOW CAST - 12PM, JUN 22
- SHADOW CAST - 3PM, JUNE 22



Client
J. NEIL
Project Name
PROPOSED SECONDARY DWELLING
40 COUPLAND AVE
TEA GARDENS
NSW 2324

Drawing Title: SHADOW DIAGRAMS	
Status: DA MODIFICATION	Scale: AS SHOWN
Project No: 24135	Sheet No.: WD3
Plot Date:	6/01/2025



NOTE:
PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH NCC H4D7. MIN FLOW RATE 25L/S. ENSURE DUCTED TO OUTDOOR AIR AD BE INTERLOCKED WITH THE ROOMS LIGHT SWITCH AND INCLUDE A RUN-ON TIMER SO THAT THE SYSTEM CONTINUES TO OPERATE FOR 10MINS AFTER SWITCH OFF. ENSURE ADEQUATE MAKE-UP AIR OF 14,000mm² VIA OPENINGS TO ADAJCENT ROOM IS PROVIDED.

NOTE:
FLOOR AND SHOWER WASTE FALLS MUST COMPLY WITH AS 3740 - 2021 AND BCA H4D3 / H4D2 - THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50.

NOTE:
WATERPROOF FLOORING - COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 TO BE USED IN WET AREAS

NOTE:
BUILDER PROVIDE WATERPROOFING AND A WATER STOP ANGLE ALONG THE DOOR WAY AND A FLOOR WASTE TO THE PROPOSED LAUNDRY CUPBOARD TO MEET AS3740

NOTE:
PROTECTION OF OPENABLE WINDOWS MUST COMPLY WITH PART 11.3.7 OF THE ABCB HOUSING PROVISIONS FOR BEDROOMS AND PART 11.3.8 FOR ROOMS OTHER THAN BEDROOMS

NOTE:
ALL STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH THE PART 11.2.2 OF THE ABCB HOUSING PROVISIONS AND HAVE A MINIMUM OR MAXIMUM GOING OF 240-355mm AND RISE OF 115-190mm

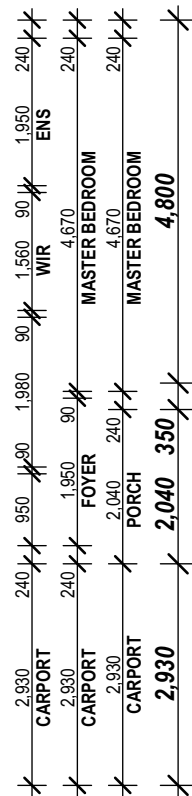
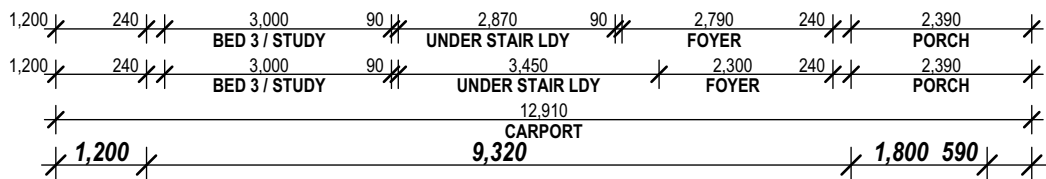
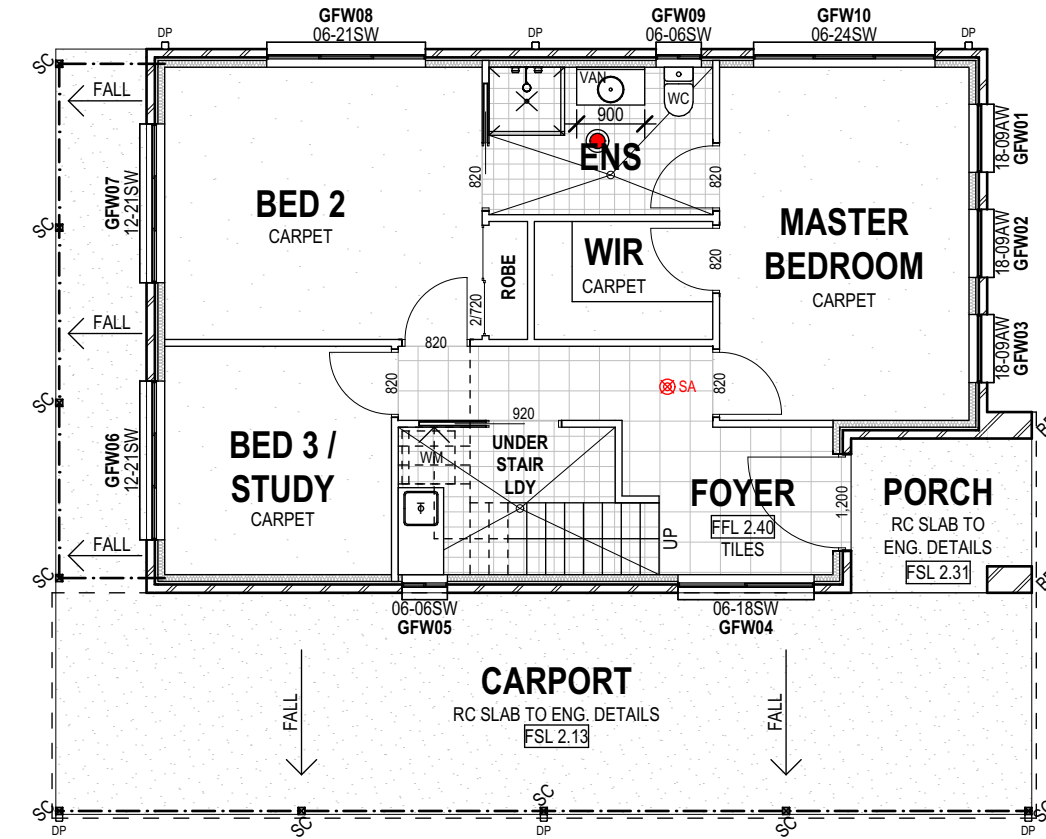
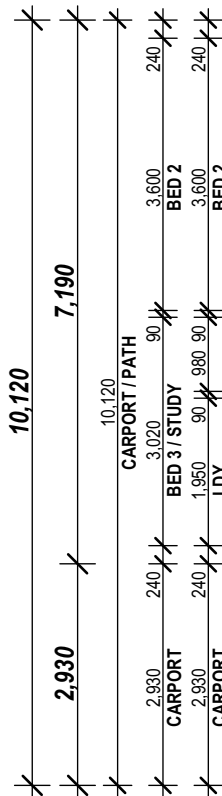
NOTE:
ALL STAIRS NOSING WILL HAVE A SLIP RESISTANCE RATING OF P4 OR P11 IN ACCORDANCE WITH CLAUSE 11.2.4 OF THE ABCB HOUSING PROVISIONS & AS4586

NOTE:
ALL BALUSTRADES TO COMPLY WITH PART 11.3.4 OF THE ABCB HOUSING PROVISIONS BALUSTRADE FOR VERANDAH TO BE A MINIMUM OF 1m & 865mm FOR STAIRS

NOTE:
ALL HANDRAILS TO COMPLY WITH PART 11.3.5 OF THE ABCB HOUSING PROVISIONS HANDRAIL FOR VERANDAH TO BE A MINIMUM OF 1M & 865mm FOR STAIRS.

BUILDER TO PROVIDE WATERPROOFING TO VERANDAH IN ACCORDANCE WITH NCC 2022 AND AS 4654.1&2

NOTE:
ALL LIGHTWEIGHT WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS AND TO COMPLY WITH RELEVANT STANDARDS



GROUND FLOOR PLAN

SCALE 1:100@A3

DA MODIFICATION

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LEGEND

WT

TP

BP

SC

EF

DP

ST

ABOVE
GROUND WATER TANK
90x90 TIMBER POST
590x350 BRICK PIER
90x90 STEEL COLUMN
EXHAUST FAN
DOWN PIPE
STOVE

SNK
WC
SHR
RC
WM
CL
FW
HWU
MSB
FFL
FSL

SINK
WATER CLOSET
SHOWER
REINFORCED CONCRETE
WATER METER
CLOTHES LINE
FLOOR WASTE
HOT WATER UNIT
MAIN SWITCH BOARD
FINISHED FLOOR LEVEL
FINISHED SLAB LEVEL

EGL
FGL
67
SA
SA

EXISTING GROUND LEVEL
FINISHED GROUND LEVEL
NICHE
SOLAR TUBE
SMOKE ALARM
EXHAUST FAN

FLOOR AREAS

GF MAIN LIVING AREA 76.3m²
FF MAIN LIVING AREA 61.3m²
PORCH AREA 5.1m²
CARPORT AREA 37.9m²
VERANDAH AREA 19m²
PATH AREA 8.7m²
TOTAL 208.3m²

BASIX COMMITMENTS

PLUMBING FIXTURES

SHOWER HEAD 4 STAR
TOILET FLUSHING SYSTEM 4 STAR
KITCHEN TAPS 4 STAR
BATHROOM TAPS 4 STAR

RAINWATER

3,000 LITRE TANK TO BE PROVIDED COLLECTING EITHER THE ENTIRE ROOF AREA OR A MINIMUM OF 143.5m² OF RAINWATER RUNOFF. THE RAINWATER TANK SHALL BE CONNECTED TO AT LEAST 1 OUTDOOR TAP.

THERMAL COMFORT

FLOOR - SUSPENDED FLOOR ABOVE HABITABLE ROOMS, PARTICLE BOARD, FRAME LAMINATED VENEER LUMBER (LVL).
- TO HAVE ADDITIONAL INSULATION OF NIL

FLOOR - CONCRETE SLAB ON GROUND, CONVENTIONAL SLAB
- TO HAVE ADDITIONAL INSULATION OF NIL.

EXTERNAL WALLS - BRICK VENEER/FRAMED, UNTREATED SOFTWOOD.
- TO HAVE ADDITIONAL INSULATION OF R1.64 RATING OR HIGHER.

- FIREBRICKGLASS BATTS OR ROLL
- REFLECTIVE FOIL IN THE CAVITY
- WALL COLOUR MEDIUM (SOLAR ABSORPTANCE 0.48-0.7)

EXTERNAL WALLS - FRAMED-METAL CLAD UNTREATED SOFTWOOD.
- TO HAVE ADDITIONAL INSULATION OF R1.70 RATING OR HIGHER.

- FIREBRICKGLASS BATTS OR ROLL
- REFLECTIVE FOIL IN THE CAVITY
- WALL COLOUR DARK (SOLAR ABSORPTANCE 0.71-0.85)

EXTERNAL WALLS - FRAMED-SOLID/RECONSTITUTED TIMBER CLAD, UNTREATED SOFTWOOD.
- TO HAVE ADDITIONAL INSULATION OF R1.70 RATING OR HIGHER.

- FIREBRICKGLASS BATTS OR ROLL
- REFLECTIVE FOIL IN THE CAVITY
- WALL COLOUR MEDIUM (SOLAR ABSORPTANCE 0.48-0.7)

CEILINGS - FLAT CEILING, FLAT ROOF, FRAMED - METAL ROOF, LAMINATED VENEER LUMBER (LVL).

- TO HAVE ADDITIONAL INSULATION OF R3 RATING OR HIGHER.
- FOIL/SARKING IN ROOF
- FIREBRICKGLASS BATTS OR ROLL
- UNVENTILATED ROOF SPACE
- ROOF COLOUR DARK (SOLAR ABSORPTANCE 0.71-0.79)
- 2.5 TO 3.0% OF CEILING AREA UNINSULATED

CEILING FANS

THE APPLICANT MUST INSTALL AT LEAST ONE FAN IN AT LEAST ONE DAYTIME HABITABLE SPACE (LIVING ROOM) AND ONE IN EACH BEDROOM

HOT WATER SYSTEM

6 STAR GAS INSTANTANEOUS HOT WATER SYSTEM OR HIGHER

HEATING AND COOLING

A SINGLE PHASE REVERSE CYCLE WALL AIR CONDITIONER WITH A STAR RATING OF 3.5 FOR COOLING IS TO BE INSTALLED IN AT LEAST 1 LIVING AND A 3.5 STAR RATING FOR HEATING IS TO BE INSTALLED IN AT LEAST 1 LIVING

VENTILATION

BATHROOM - INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, MANUAL ON/OFF
KITCHEN - INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, MANUAL ON/OFF
LAUNDRY - NATURAL VENTILATION ONLY

ARTIFICIAL LIGHTING

THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF THE LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

NATURAL LIGHTING

A WINDOW MUST BE INSTALLED IN 2 BATHROOMS/TOILETS
A WINDOW MUST BE INSTALLED IN THE KITCHEN

OTHER

AN ELECTRIC OVEN & ELECTRIC COOKTOP MUST BE INSTALLED IN THE KITCHEN OF THE DWELLING.
A FIXED OUTDOOR CLOTHES LINE MUST BE INSTALLED.

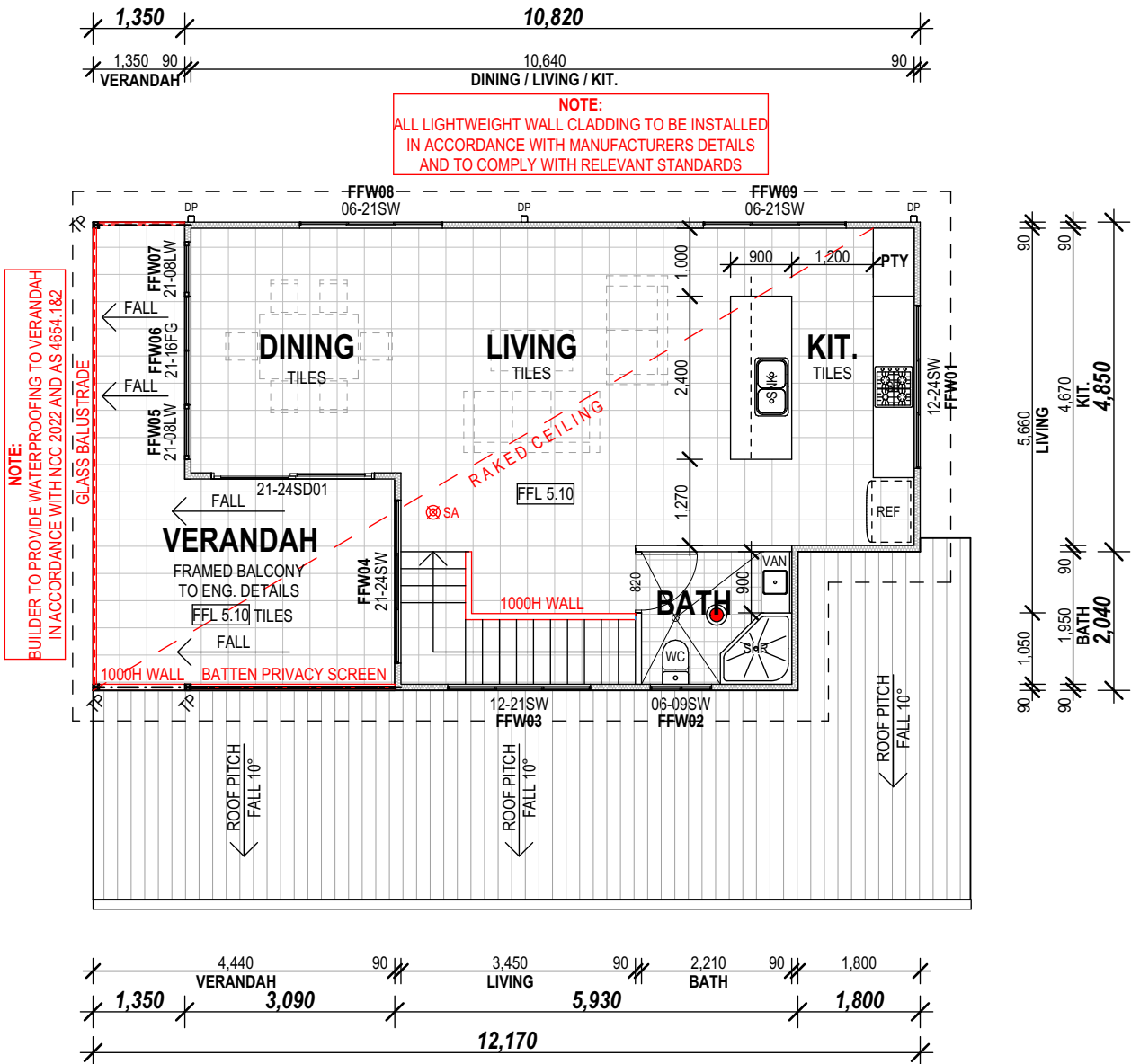


Client
J. NEIL
Project Name
PROPOSED SECONDARY DWELLING
40 COUPLAND AVE
TEA GARDENS
NSW 2324

Drawing Title:
GROUND FLOOR PLAN
Status: DA MODIFICATION Scale: AS SHOWN
Project No:
24135
Sheet No.:
WD4
Plot Date: 6/01/2025

BASIX COMMITMENTS

WINDOWS & GLAZED DOORS					
WINDOW/ DOOR NO.	MAX HEIGHT (mm)	MAX WIDTH (mm)	TYPE OF WINDOW	SHADING (DIMENSION WITHIN 10%)	OVERSHADOWING
NORTH FACING					
GFW01	1800	900	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 300mm, 3110mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW02	1800	900	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 300mm, 3230mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW03	1800	900	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 300mm, 3350mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW01	1200	2400	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 450mm, 510mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
EAST FACING					
GFW04	600	1800	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 3070mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW05	600	600	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 3070mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW02	600	900	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 450mm, 940mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW03	1200	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 450mm, 940mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
SD01	2100	2400	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 3070mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
SOUTH FACING					
GFW06	1200	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	SOLID OVERHANG 1200mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW07	1200	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	SOLID OVERHANG 1200mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW04	2100	2400	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 4740mm, 760mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW05	2100	800	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 1650mm, 570mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW06	2100	1600	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 1650mm, 470mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW07	2100	800	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 1650mm, 360mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
WEST FACING					
GFW08	600	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 440mm, 2960mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW09	600	600	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 440mm, 2960mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GFW10	600	2400	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 440mm, 2960mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW08	600	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 600mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
FFW09	600	2100	ALUMINIUM, SINGLE CLEAR (U-VALUE: <=6.5, SHGC: 0.60-0.74)	EAVE 600mm, 300mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED



FIRST FLOOR PLAN
SCALE 1:100@A3

NOTE:
PROVIDE MECHANICAL VENTILATION - COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 TO BE USED IN WET AREAS

NOTE:
FLOOR AND SHOWER WASTE FALLS MUST COMPLY WITH AS 3740 - 2021 AND BCA H4D3 / H4D2 - THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50.

NOTE:
WATERPROOF FLOORING - COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 TO BE USED IN WET AREAS

NOTE:
BUILDER PROVIDE WATERPROOFING AND A WATER STOP ANGLE ALONG THE DOOR WAY AND A FLOOR WASTE TO THE PROPOSED LAUNDRY CUPBOARD TO MEET AS3740

NOTE:
ALL STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH THE PART 11.2.2 OF THE ABCB HOUSING PROVISIONS AND HAVE A MINIMUM OR MAXIMUM GOING OF 240-355mm AND RISE OF 115-190mm

NOTE:
ALL BALUSTRADES TO COMPLY WITH PART 11.3.4 OF THE ABCB HOUSING PROVISIONS BALUSTRADE FOR VERANDAH TO BE A MINIMUM OF 1m & 865mm FOR STAIRS

NOTE:
ALL HANDRAILS TO COMPLY WITH PART 11.3.5 OF THE ABCB HOUSING PROVISIONS HANDRAIL FOR VERANDAH TO BE A MINIMUM OF 1M & 865mm FOR STAIRS.

NOTE:
ALL STAIRS NOSING WILL HAVE A SLIP RESISTANCE RATING OF P4 OR P11 IN ACCORDANCE WITH CLAUSE 11.2.4 OF THE ABCB HOUSING PROVISIONS & AS4588

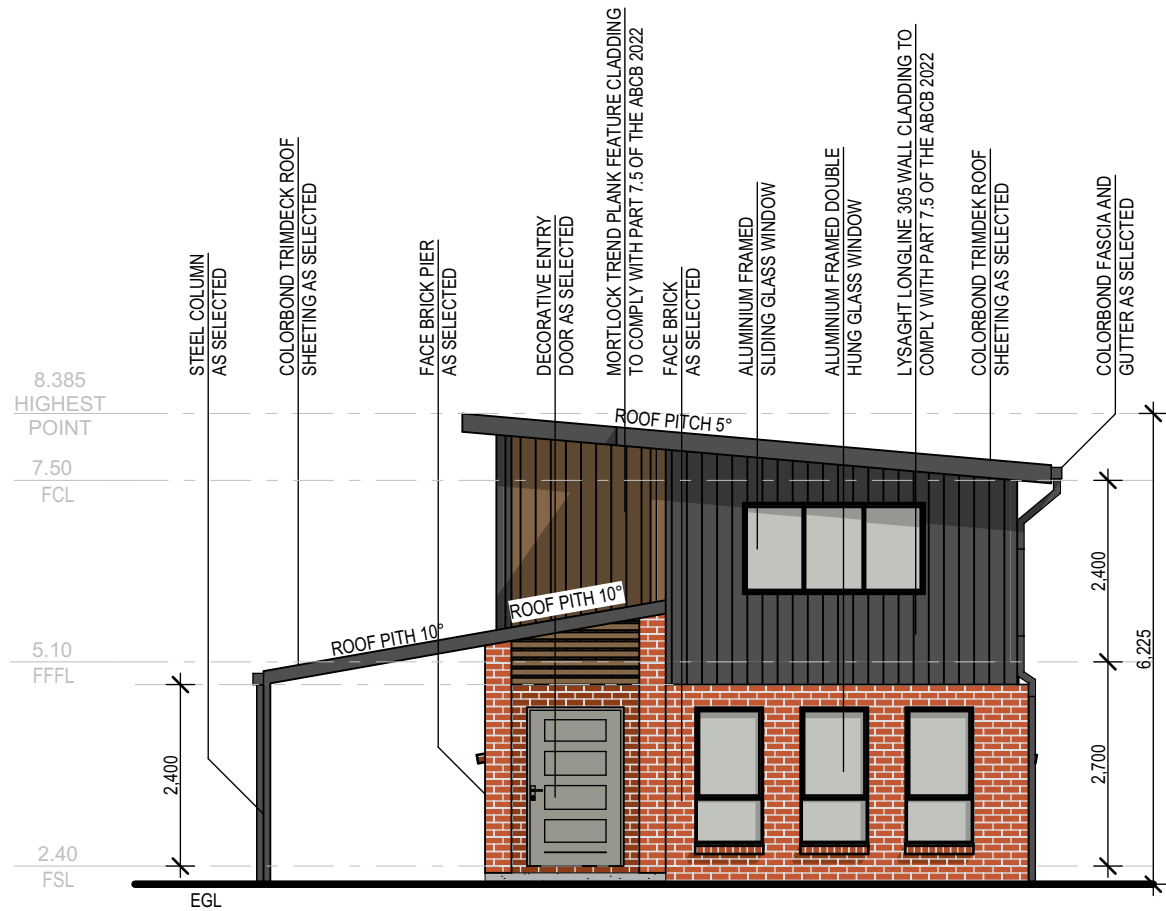
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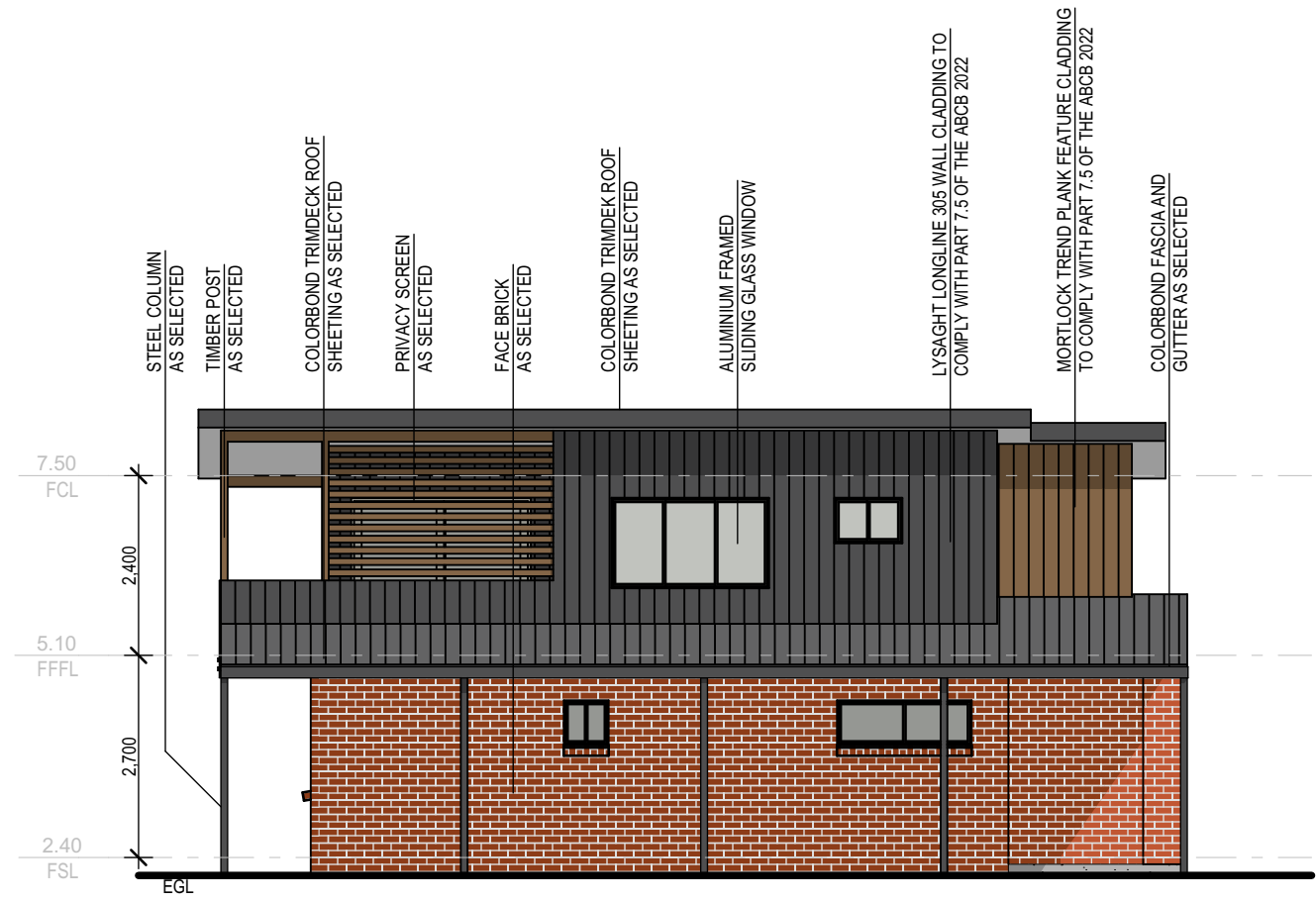
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NORTHERN ELEVATION
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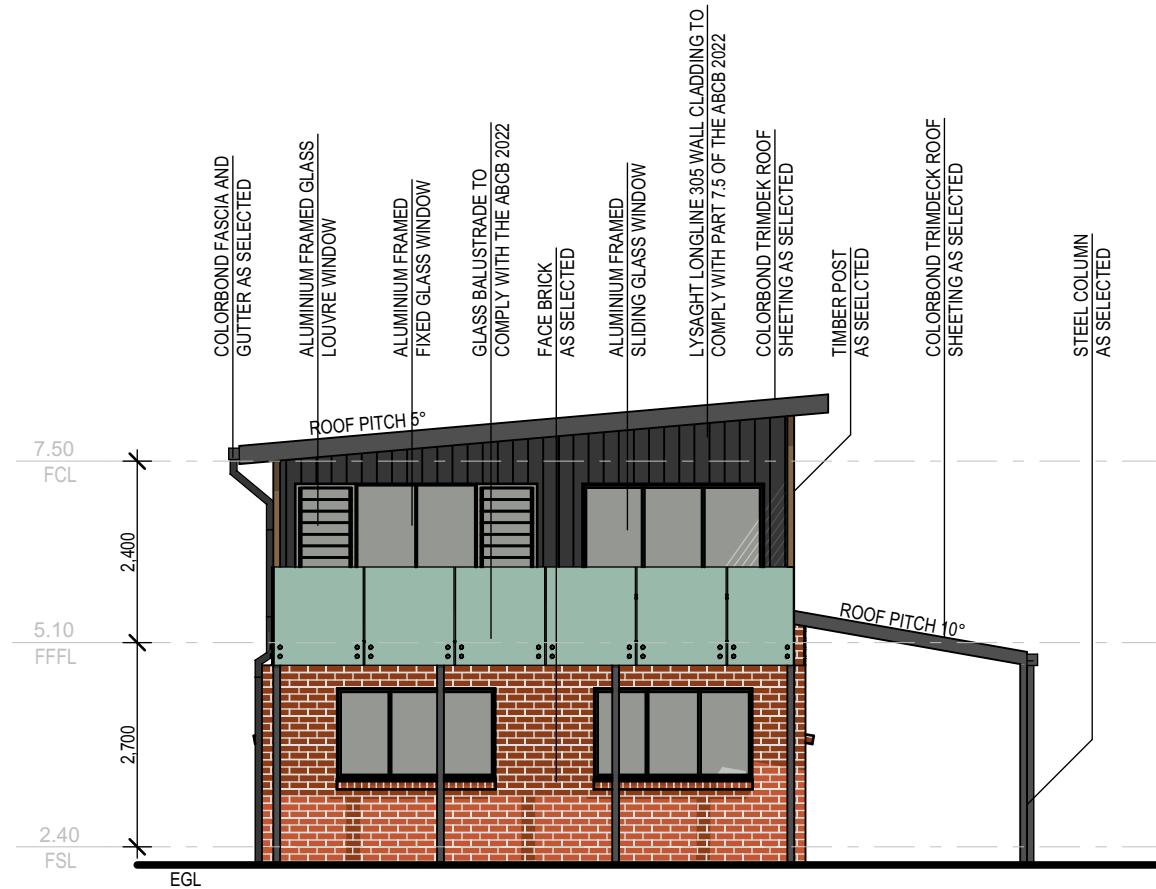


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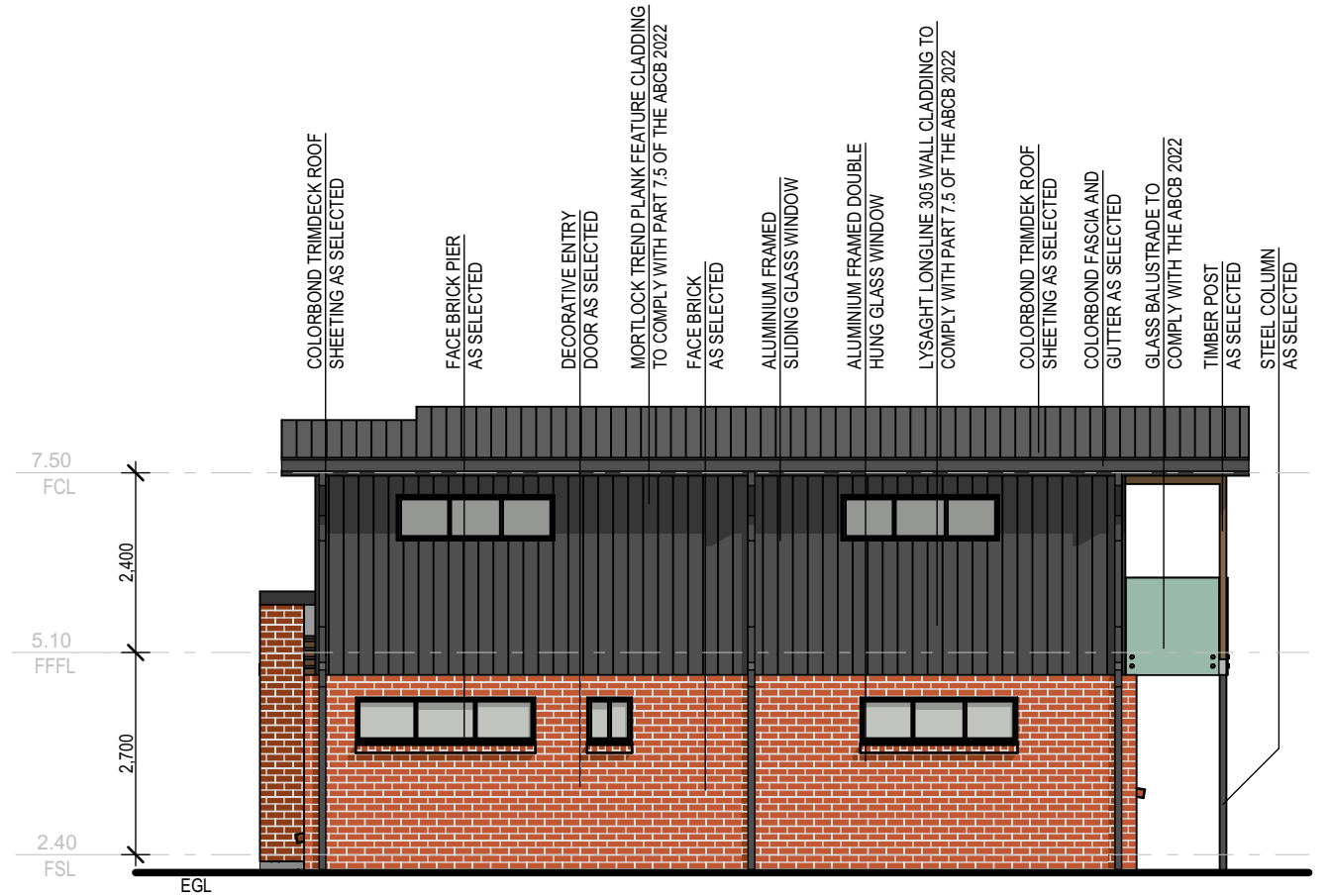
NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY

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04	06/01/25	ISSUED FOR DA MODIFICATION	DP	DP	
					<div>Client</div> <div>J. NEIL</div> <div>Project Name</div> <div>PROPOSED SECONDARY DWELLING</div> <div>40 COUPLAND AVE</div> <div>TEA GARDENS</div> <div>NSW 2324</div>
					<div>Drawing Title:</div> <div>ELEVATIONS</div> <div>Status: DA MODIFICATION</div> <div>Scale: AS SHOWN</div> <div>Project No:</div> <div>24135</div> <div>Plot Date:</div> <div>6/01/2025</div>
					<div>Sheet No.:</div> <div>WD6</div>



SOUTHERN ELEVATION

SCALE 1:100@A3



WESTERN ELEVATION

SCALE 1:100@A3

DA MODIFICATION

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NSW 2324

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ELEVATIONS

Status: DA MODIFICATION

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Project No:

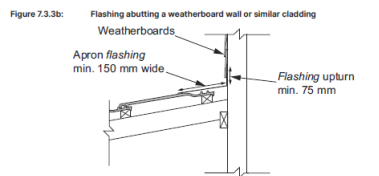
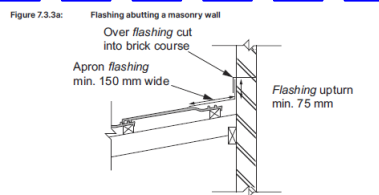
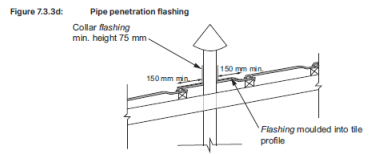
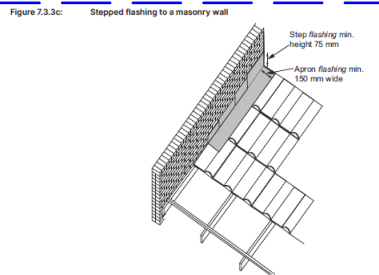
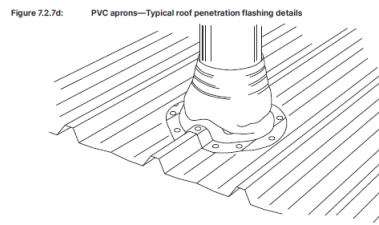
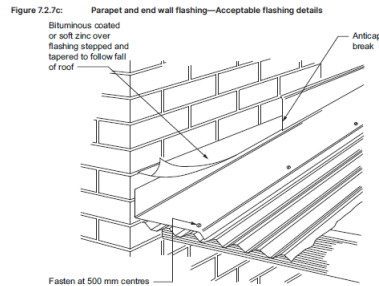
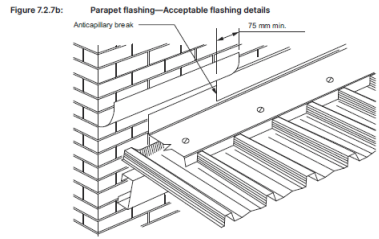
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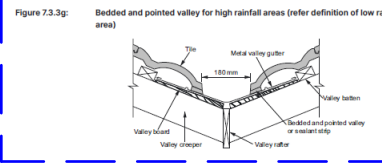
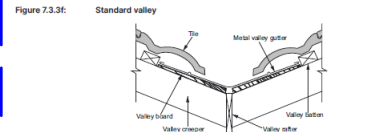
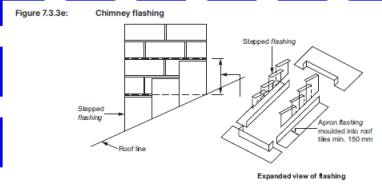
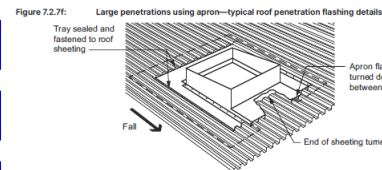
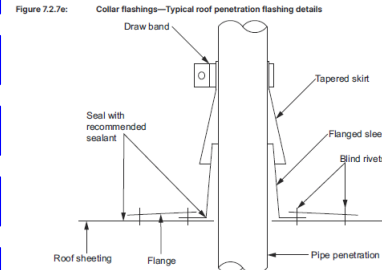
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Plot Date: 6/01/2025

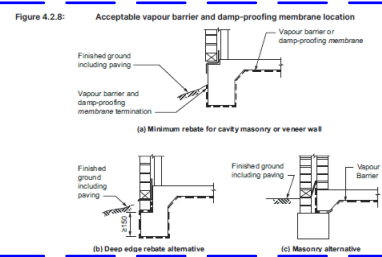
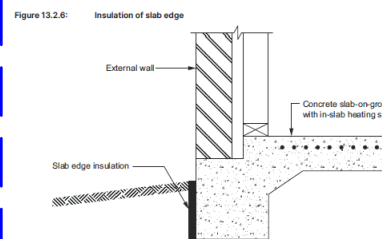
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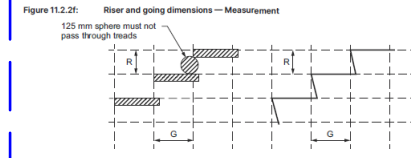
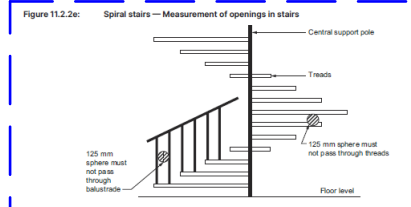
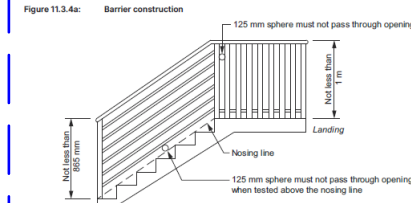
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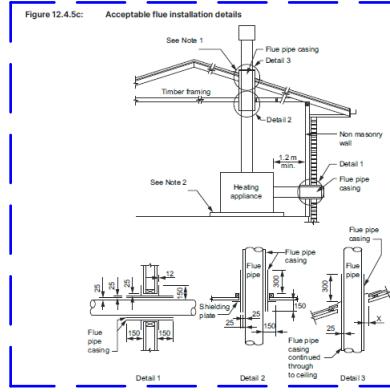
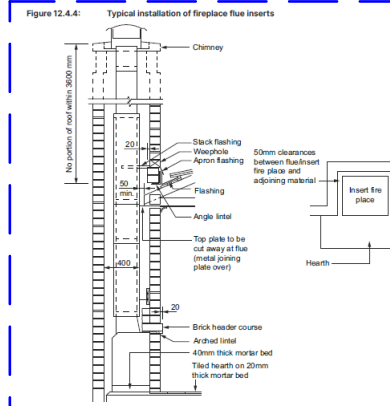
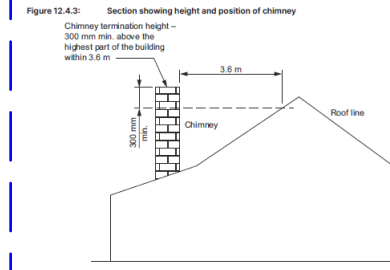
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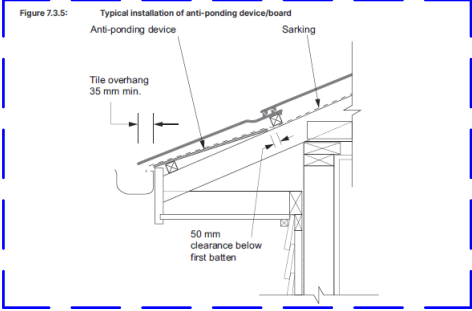
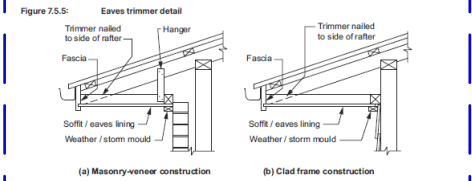
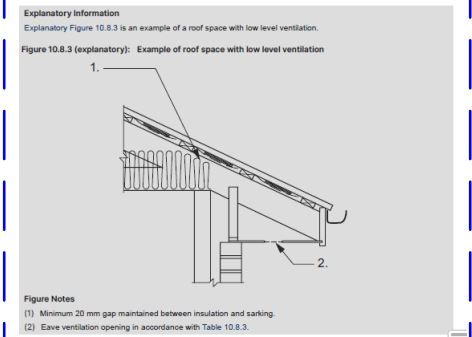
STAIR/BALUSTRADE DETAILS



CHIMNEY DETAILS



EAVE DETAIL



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NSW 2324

Drawing Title:
ABCB RELEVANT CONSTRUCTION DETAILS

Status: DA MODIFICATION Scale: AS SHOWN

Project No:
24135

Sheet No.:
WD8

Plot Date: 6/01/2025

WATERPROOFING DETAILS

Figure 10.2.27 (explanatory): Typical bond breaker details

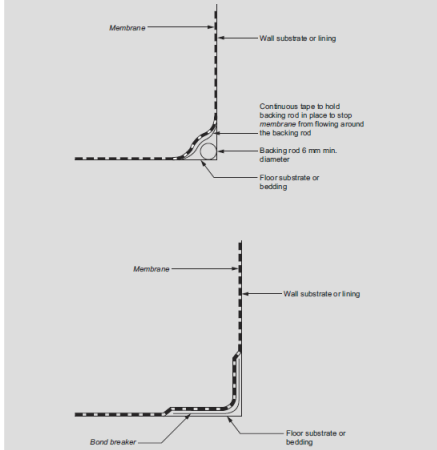


Figure 10.2.20: Typical bath junctions

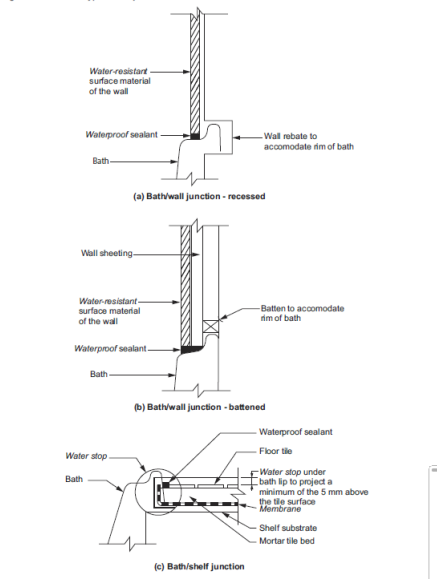


Figure 10.2.4b: Areas adjacent to baths and spas without showers for timber floors including particle-board, plywood and other floor materials

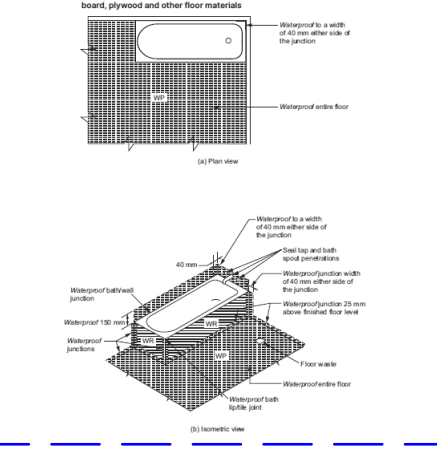


Figure 10.2.4a: Areas adjacent to baths and spas without showers for concrete, compressed fibre-cement and fibre-cement sheet flooring

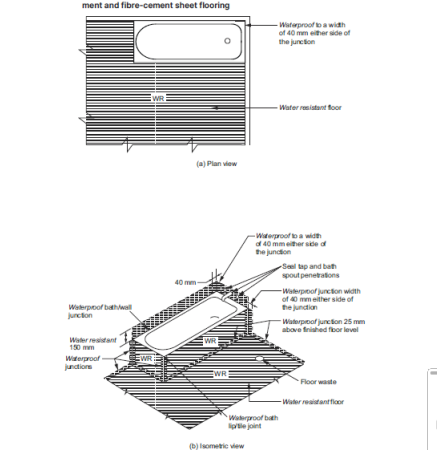


Figure 10.2.5: Bath and vessel abutting wall — areas to be protected

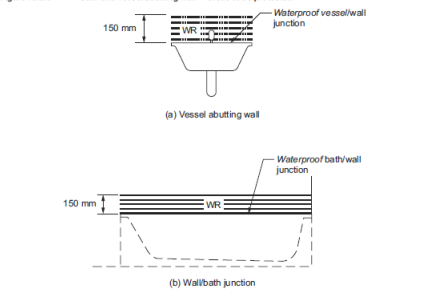


Figure 10.2.2: Extent of treatment for shower areas — concrete compressed fibre-cement and fibre-cement sheet floors

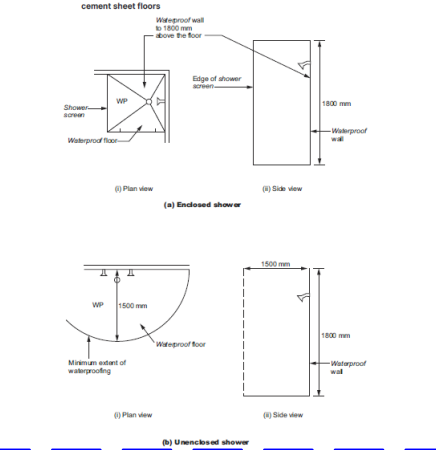


Figure 10.2.19b: Typical preformed shower base/floor junction on timber floors, including particleboard, plywood and other timber materials

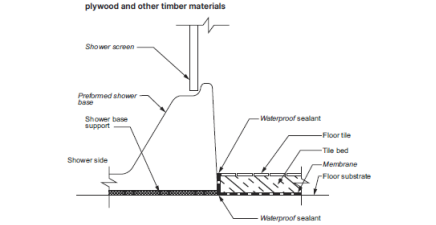


Figure 10.2.19a: Typical preformed shower base/wall/floor junction

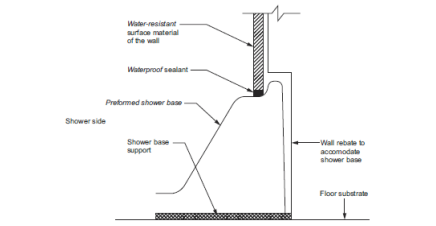


Figure 10.2.29: Typical membrane termination at drainage outlet

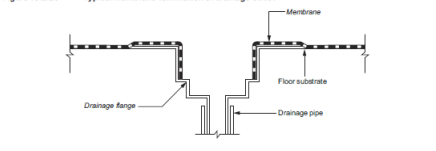


Figure 10.2.15a: Typical enclosed stepped down shower construction (membrane below tile bed)

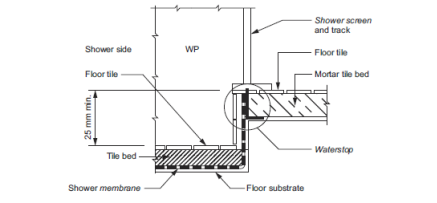


Figure 10.2.15b: Typical enclosed stepped down shower construction (membrane above tile bed)

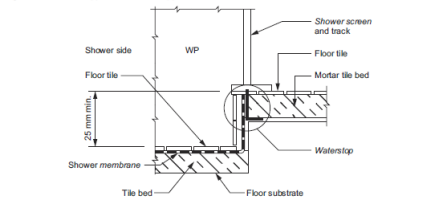


Figure 10.2.15c: Typical unenclosed stepped down shower construction (membrane below tile bed)

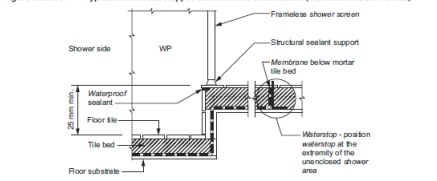


Figure 10.2.15d: Typical unenclosed stepped down shower construction (membrane above tile bed)

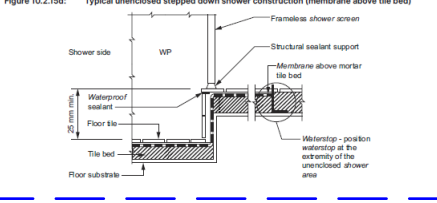


Figure 10.2.17: Typical hobless construction

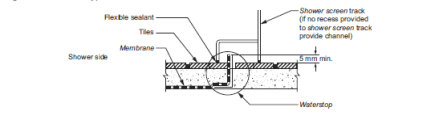


Figure 10.2.16: Typical hob construction — internal membrane

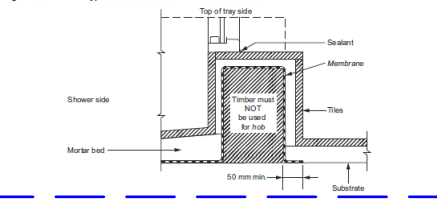
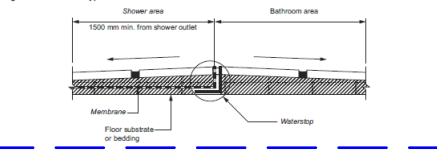


Figure 10.2.18: Typical termination of membrane at extent of shower area



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Project No: 24135	Sheet No.: WD9	
Plot Date: 6/01/2025		